

Jeffery Schmitt, Planning Board Chair  
Michael Harris, Vice Chairperson  
Teresa Bakner, Board Attorney  
Chris Parslow, Town Planner  
Coryn VanDeusen, Clerk



Elizabeth Novak, Board Member  
Joshua Houghton, Board Member  
Matthew Hoffman, Board Member  
Michael Walpole, Board Member

**Town of Duanesburg  
Planning Board Agenda  
July 18, 2024**

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**AGENDA ITEMS MAY BE ADDED, DELETED, OR ORDER CHANGED WITHOUT NOTICE**

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**The Town of Duanesburg offers Planning Board Meetings via zoom if you are unable to attend the meeting in person:**

Town of Duanesburg is inviting you to a scheduled Zoom meeting.

Topic: Town of Duanesburg's Planning Board Zoom Meeting

Time: This is a recurring meeting Meet anytime

**Join Zoom Meeting**

**Meeting ID:** 858 7403 2498

**Passcode:** 848175

**Dial in by Phone:** 1-646-558-8656

**Meeting ID:** 858 7403 2498

**Passcode:** 848175

**INTRODUCTION BY CHAIRPERSON JEFFERY SCHMITT**

**OPEN FORUM**

**SKETCH PLAN REVIEW:**

**#24-12 William P Kelly & Danya Padilla:** Minor subdivision/lot line adjustment under Local Law #2 2017 Town of Duanesburg Subdivision Ordinance.

**Full Review** \_\_\_\_\_ **Refer to Code Enforcement** \_\_\_\_\_

**Comments:** \_\_\_\_\_

**PUBLIC HEARINGS:**

**#23-19 Samuelson, Thomas:** SBL#67.05-2-13.1 (H) located at 6928 Duanesburg Rd is seeking a special use permit to convert existing residential building back to a two-family dwelling under section 9.4(8) of the Town of Duanesburg Zoning Ordinance.

- **No Parking allowed for more than Four (4) automobiles**

**Approved: Yes** \_\_\_\_\_ **No** \_\_\_\_\_

**Comments:**

\_\_\_\_\_  
\_\_\_\_\_

**OLD BUSINESS:**

**#24-2 Kruger Energy:** SBL#65.00-2-15.11, SBL#65.00-2-15.2, and SBL#65.00-2-43 (R-2) located at 909 Alexander Rd is seeking a special use permit and lot line adjustment under

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Local Law 2 of 2016 of the Town of Duanesburg Subdivision Ordinance and Local Law 1 of 2023 of the Town of Duanesburg Zoning Ordinance.

- **Revise SWPP to include existing roads**
- **Contact Duanesburg Highway Superintendent**
- **Show equipment pads on plat**
- **Input from Delanson Volunteer Fire Department**

**Comments:** \_\_\_\_\_

**#24-3 Parkview at Ticonderoga LLC:** SBL#65.00-1-19.1, (C-2) located at 9811-9815 Western Turnpike is seeking a special use permit and major subdivision under section 12.4 (26)(28)(34) of the Town Of Duanesburg Zoning Ordinance and section 3.5 Major Subdivision of the Town of Duanesburg Subdivision Ordinance.

- Army Corp response
- Confirm status with County referral
- Storm water for residential lots
- Show buffer on plat plan

**Comments:** \_\_\_\_\_

**#24-8 Jasenski, Lawrence J.** SBL#25.00-2-9.3, (R-2) 577 Levey Rd. Applicant is seeking a minor subdivision creating a new 41.7-acre lot from an existing 168.7 parcel under section 3.4 of the Subdivision Ordinance.

- Unlisted Action
- DEC site visit

**Comments:** \_\_\_\_\_

**#24-10 Yunker, Frank** SBL# 35.06-5-9, (L-1) located at 183 Spring Rd. Applicant is seeking a special Use for a two-family dwelling under section 7.1.4(1) of the Town of Duanesburg Zoning Ordinance.

- Site plan & sewer hookup plan

**Comments:** \_\_\_\_\_

**NEW BUSINESS:**

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**#24-11 Schenectady Reserve LLC:** SBL# 53.00-3-15; (C-1) located on the corner of Mudge Rd and Western Turnpike is seeking a Special Use Permit to construct a single-family dwelling in a Commercial zoned parcel under section 11.4 (10) of the Town of Duanesburg Zoning Ordinance.

Comments:

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**#24-13 Andrew Mollerick:** SBL# 64.00-1-39; (C-1) located on Youngs Rd. Lot #7 from the Helderberg Reality Subdivision is seeking a Special Use Permit under section 11.4 (10) of the Town of Duanesburg Zoning Ordinance.

Comments:

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**Other:**

**Minute Approval:**

**May 16, 2024 PLANNING BOARD MEETING MINUTES:**

Approved: Yes \_\_\_\_\_ No: \_\_\_\_\_

**June 20, 2024 PLANNING BOARD MEETING MINUTES:**

Approved: Yes \_\_\_\_\_ No: \_\_\_\_\_

**ADJOURNMENT**



\*\*\*\*\*FOR OFFICE USE ONLY\*\*\*\*\*

## Date \_\_\_\_\_

**Agricultural Data Statement**

Date: \_\_\_\_\_

**Instructions:** Per § 305-a of the New York State Agriculture and Markets Law, any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review and approval would occur on property within a New York State Certified Agricultural District containing a farm operation or property with boundaries within 500 feet of a farm operation located in an Agricultural District shall include an Agricultural Data Statement.

Applicant	Owner if Different from Applicant
Name: <u>William Kelly &amp; Danya Padilla</u>	Name: _____
Address: <u>4487 Skyline Drive</u>	_____
<u>Schenectady, NY 12306</u>	_____

1. Type of Application: Special Use Permit; Site Plan Approval; Use Variance; Area Variance; Subdivision Approval (circle one or more)
2. Description of proposed project:  
Lot line adjustment  
\_\_\_\_\_  
\_\_\_\_\_
3. Location of project: Address: 4487 Skyline Drive  
Tax Map Number (TMP) 54.00-2-2.2 & 4.212
4. Is this parcel within an Agricultural District? YES ☒ NO (Check with your local
5. If YES, Agricultural District Number \_\_\_\_\_ assessor if you do not know.)
6. Is this parcel actively farmed? YES ☒ NO
7. List all farm operations within 500 feet of your parcel. Attach additional sheet if necessary.

There are no active farms within 500 feet of this property.

NAME: _____ ADDRESS: _____ Is this parcel actively farmed? YES NO	NAME: _____ ADDRESS: _____ Is this parcel actively farmed? YES NO
NAME: _____ ADDRESS: _____ Is this parcel actively farmed? YES NO	NAME: _____ ADDRESS: _____ Is this parcel actively farmed? YES NO

William Kelly  
Signature of Applicant

\_\_\_\_\_  
Signature of Owner (if other than applicant)

Reviewed by: \_\_\_\_\_

Dele R. Warner Chris Parslow

Date \_\_\_\_\_

Revised 4/4/17

**FARM NOTE**

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

**NOTE TO REFERRAL AGENCY:** County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

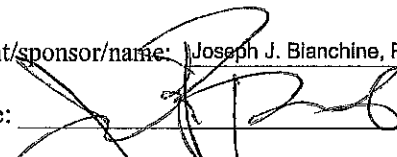
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

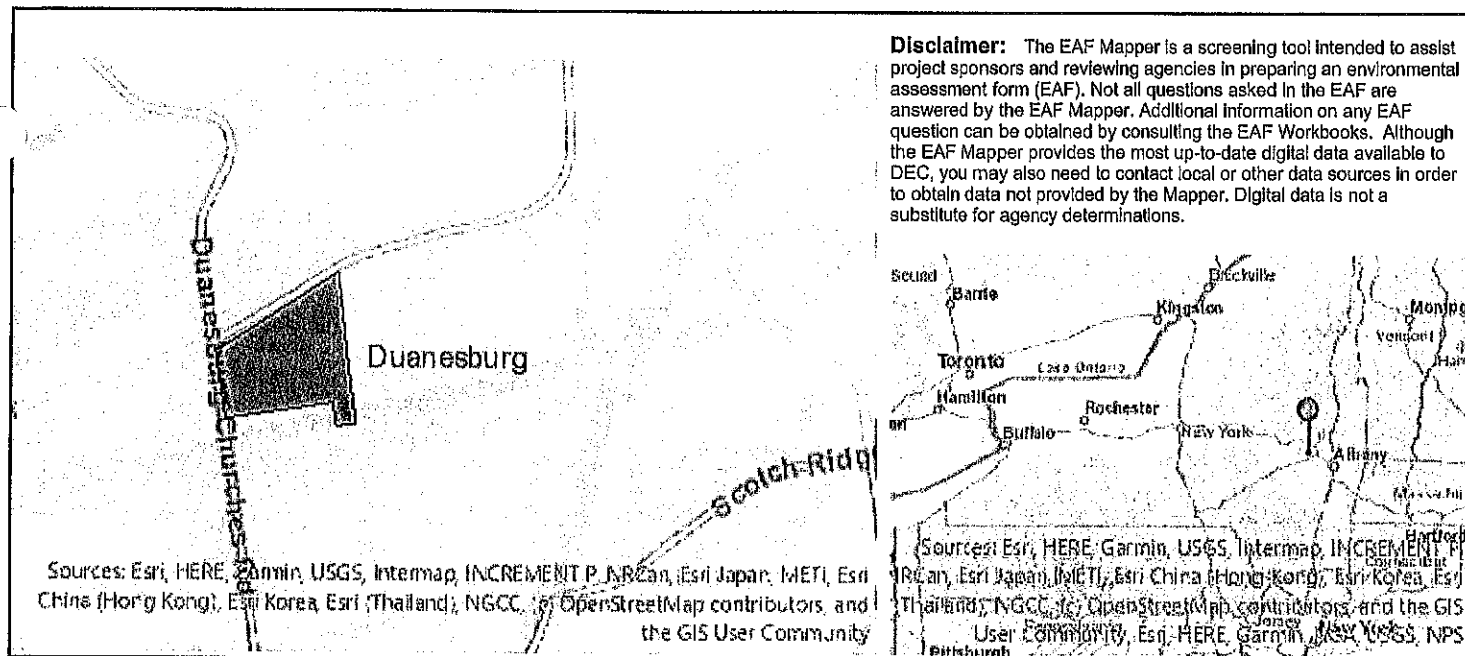
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: 4487 Skyline Drive			
Project Location (describe, and attach a location map): 4487 Skyline Drive, Schenectady, NY 12306			
Brief Description of Proposed Action: Applicant is proposing a lot line amendment (no new lots).			
Name of Applicant or Sponsor: William Kelly		Telephone: 518-366-4849	
		E-Mail:	
Address: 4487 Skyline Drive			
City/PO: Schenectady		State: NY	Zip Code: 12306
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Rotterdam Planning Board		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		25.7 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		25.7 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ Private Well _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ Private Septic _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Joseph J. Blanchine, P.E., ABD Engineers &amp; Surveyors, LLP</u> Date: <u>June 17, 2024</u>  Signature:  Title: <u>Professional Engineer</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



## MEMORANDUM

**To:** Jeffrey Schmitt, Planning Board Chairman  
Town of Duanesburg

**From:** Dominick F. Arico, PE

**Date:** July 8, 2024

**Re:** Kruger Energy Solar Project  
Site Plan and Special Use Permit Application Review  
KBE Project 240619-000R

We offer the following information in response relative to the project comment letter from Town Designated Engineer, Douglas Cole, PE of KB Engineering & Architecture, dated May 13, 2024, as well as comments from Town Staff and discussion during recent Planning Board meetings. Initial comments are in *italic text*, and responses are in **bold text** below using matching number system. Comments that were noted with "no further comments" or "no response necessary" have been excluded. The attached materials have been revised or are in addition to the materials submitted under previous submissions:

- Response Memorandum addressing town comments
- Site Development Plans (24x36)
- Miscellaneous reports, studies and documents noted in responses below
- Digital copy of submitted material on USB drive

We trust this information is sufficient for your use in continuing your review and approvals. If additional information is needed, please let us know and we will submit this information.

### Responses to Comments:

#### FEAF Part 1

1. *The Applicant stated in their answer to question D.1.b that the total acreage to be physically disturbed is >1.0 acres. We ask the Applicant to identify the calculated acreage to be disturbed. The applicant has added the proposed disturbance areas in a table on Sheet C101 and labeled the disturbances within the site plan. We ask that a total disturbance figure be added to the table and that the 0.02 acres of meadow disturbance be noted with text and a leader pointing to the area on the map. It appears that the total construction disturbance may be less than one acre, however, the applicant has answered that greater than an acre of disturbance is proposed. **Question D.1.b has reviewed and updated accordingly.***
2. *The Applicant indicated in their response to question E.2.h.iii that there are wetlands or waterbodies within or adjoining the project site regulated by federal, state or local agency but did not answer the following question E.2.h.iv asking for the identification of the regulated wetland/waterbody on the project site. We ask the Applicant to provide the appropriate identification information. The applicant advised that the response to E.2.h has been updated, however a revised FEAF was not provided to confirm this. **Question E.2.h has reviewed and updated accordingly.***
3. *The Applicant has not completed question E.3.b identifying if there are agricultural lands consisting of highly productive soils present and if so, to provide the acreage and soil rating. We ask the Applicant to complete this question. The applicant has not responded to this comment. **E.3.b has been answered NO.***
4. *The Applicant has not completed question E.3.e and provide the nature of historic/archaeological resource and a brief description of attributes on which the list is based. **E.3.e has been updated accordingly.***

#### Site Plan

1. The Applicant has not provided the following details on the provided Site Plan/drawing set for review:
  - Total area(s) of disturbance
    - The Applicant has provided the areas of disturbance on Sheet C-101 and show areas of disturbance of 0.18 for contiguous tree removal, 0.73 acres of temporary wetland disturbance, 0.15 acres for the expansion of existing gravel/stone access road,

stand alone trees to be removed and stumped within the fence perimeter, and stands of trees mixed deciduous and evergreens. Sheet C-100 shows that solar panels are to be installed in the area labeled as "stands of trees, mixed deciduous & evergreen", however it is not mentioned if the trees are to be removed and stumped. It is believed that this would have to be done and should be called out on the drawing and added to the total acreage of construction disturbance. **Tree stands and individual trees within the fenced area will be removed and stumped. Trees outside the fence area will only be removed. Trees have been identified on the plans accordingly. Contiguous tree areas have also been identified on the plan and presently consists of 0.18 acres. The temporary wetland disturbance is correct at 0.73 acres, though this is a perimeter area, the actual disturbed area will be based upon placing panels supports with minimum or no vehicle traffic.**

- Gate details including location, dimensions, and design details
  - The Applicant has provided the details for the barrier gate and woven wire fence gate on Sheet C-200. The barrier gate is 4ft high and constructed of steel with a pad lock and shows additional boulders on both sides of the posts if necessary. The location of this gate should be added to Sheet C-100. The woven wire gate is 8ft high and prevents access to the solar panel field as shown on Sheet C-100. **Barrier gate has been added to Sheet C-100.**
- Access road details
  - The Applicant has clarified that they will be using the existing gravel/stone road access for the project and that only minor expansion will be required to maintain the 20ft width. This has been shown on Sheet C-101. The width and materials for the existing access road meet the Town of Duanesburg Solar Law that requires access roads to be no wider than 26ft, however a detail should be provided for the proposed expansion areas for the access road to confirm that it will not be made of impervious materials. **The detail has been provided to show the expansion area and materials to be used where the road will be widened to 20.0 ft.**
- Screening/planting details including species, density, location, and height/size of plantings. The Applicant will also provide a guarantee that all plantings that form part of the approved landscape and screening plan will be maintained and replaced if necessary during the life of the project.
  - The Applicant has provided landscaping plans dated April 26, 2024 prepared by Environmental Design Partnership. The planting plan includes plantings that are offset along the with a 3ft vegetated berm, 36 Gray Dogwood shrub 2-3ft in height, 63 Eastern Red Cedar trees 4-5ft in height, 48 American Hazelnut trees 2-3ft in height, and 96 3-gallon Purple Flowering Raspberry bushes. The Town of Duanesburg Solar Law Section D.2 states that trees to be included in the screening shall be a minimum of 8ft tall and 3 inches diameter at breast height. The proposed trees do not meet this minimum height requirement. **The landscaping plan has been revised according to meet the standards mentioned.**
  - Applicant has included a twelve month guarantee for all plants and seeds for the Contractor. We ask that the Applicant confirm that after the twelve month guarantee for the Contractor expires, they guarantee the plantings for the remainder of the life of the project. **Applicant would like to discuss this matter in more detail with the board.**
- Stormwater management plan details including the location, design, and construction outline of all existing or proposed site improvements, including culverts, drains, retaining walls and fences.
  - The Applicant has indicated that there are no proposed site improvements for stormwater management therefore the plans they provided only show existing conditions on Sheets C-100 and C-101. While post-construction stormwater management facilities are not required for projects that disturb less than once acre of land, the required erosion and sediment control practices that the contractor must follow during construction need to be shown on the plans. **After further discussion with the board, the stormwater management plan has been updated to a Full SWPPP and is included in this submission.**
- Lighting plan and location(s)
  - The Applicant has provided stand alone light details on Sheet C-200. The stand alone light is shown at a 7ft minimum height on an equipment pad with 2 fixtures with LED lamps that are approximately 30W total. They are motion sensor and appear to be downcast. The Applicant has clarified that there will be no continuous lights proposed and the lighting proposed will be around the equipment pads for night security and emergency work. The Town of Duanesburg Solar Law requires that proposed lighting must be capable of manual or auto shut off rather than motion detection (Section 2.H). We ask the Applicant to clarify if the proposed lighting is capable of manual or auto shut off and if not, we ask that they provided updated lighting plans. **The lighting detail has been updated to show manual and auto shutoff as well as motion detection sensors.**
- Electrical diagrams
  - The Applicant has provided Sheet E3 NY-Rhoades PV Plant 4.199MW AC One Line Diagram.

- The drawing has text that mentions National Grid extending the 13.2KV overhead feeder on Alexander Road. Please provide details on where this extension begins and ends. **A One-Line Diagram has been added to the plans set showing interconnection layout and settings.**
  - The drawing shows four (4) inverters, two (2) switchboards, and three (3) transformers, however drawing C-100 only shows two (2) concrete equipment pads. Please provide plan and elevation details of the proposed equipment pads that show all of the proposed equipment. **To clarify, diagram shows 17 string inverters, two (2) pad mounted transformers and two (2) equipment pads. Since the inverters are string inverters, they are not required to be on an equipment pad, unlike central inverters which require the pad. Equipment pad detail has been included in the plans set.**
  - Documentation of utility notification, including an electric service order number needs to be provided. **Case number for this project is 432108.**
- Laydown-area details
    - The Applicant has labeled the laydown area on Sheet C-101. The laydown areas consist of two existing gravel/stone pads accessible off of the existing access road that will remain and be used on-site for the proposed project. If improvements to these areas is necessary to support the proposed construction equipment and stored materials, a detail should be provided. **There is no improvement proposed for the laydown areas. The improvements will be at end of installation to remove those areas and replace with topsoil and seed.**
2. In their response to question E.1.b the Applicant indicated a decrease in the acreage of roads, buildings, and other paved or impervious surfaces as well as a decrease in forested land. We ask the Applicant to provide on the site plan the location of both land use/cover types. The Applicant has indicated that to keep the total disturbance under 1 acre, the existing impervious surfaces will remain as is and that there will not be a decrease of impervious surfaces. Although the Applicant has provided the updated breakdown table on Sheet C-101, we ask that the Applicant revise their answer to question E.1.b. to reflect that there will be no decrease in the acreage of roads, buildings, and other paved or impervious surfaces. **Response to question E.1.b has been updated accordingly.**

#### Sound Study Report

3. Details showing the solar panel support posts have not been provided, but utilizing screw piles instead of pile driving of posts should be considered as a construction noise mitigation measure. The applicant does not propose any noise mitigation during construction and ground screws are shown on Sheet C-200 for the support posts of the racking system. The Town Solar Law references Chapter XVIII, Title 19 of NYCRR Part 900-6.5(b) which then references 900-2.8. Subsection 2.8(j) requires an evaluation of future noise levels during construction of the facility including predicted A-weighted/dBA sound levels using computer noise modeling listed in 2.8(j)1-4. **The required study and report were completed in 2023 and were conducted in compliance with the local town law, as stated in the report. Construction noise evaluation was included in the study and reported in Section 7 of the study report.**

#### SWPPP

1. The Applicant has provided a SWPPP Summary Report for review. Please provide the full SWPPP for review and approval by the Planning Board. The full SWPPP needs to contain the following elements: The applicant has advised that less than one acre of construction disturbance is planned for this project (which will be confirmed on plan sheet C101) so only a Basic SWPPP detailing the Erosion and Sediment Controls for the project is necessary. **A full SWPPP is now being provided and is included in this submission. No further comments have been addressed as they are now unrelated.**

#### Operations and Maintenance

1. It is stated that this is a general Standard Operating Practice (SOP) for the O&M of Kruger Energy solar projects and that it will be finalized during construction and commissioning to incorporate all equipment subject to the O&M Plan. We would like to know what level of revision is expected to be necessary that it cannot be finalized at this time. **The O&M Plan will be modified accordingly.**
2. An Emergency Response Plan is still required to be completed and submitted for review. **The O&M Plan will be modified accordingly.**

3. The Routine Scheduled Preventive Maintenance section states "One of the most valuable techniques for identifying existing problems and preventing future problems is to walk the site and conduct a thorough visual and hands-on inspection of the PV system components", but then only an annual inspection is proposed, which seems to be inadequate. **The O&M Plan will be modified accordingly.**
4. There is no section that describes landscaping and ground surface maintenance procedures and schedule. **The O&M Plan will be modified accordingly.**

#### Decommissioning Plan

1. A draft Decommissioning Plan (Plan) dated 9/8/2023 was provided for review and identifies Kruger Energy (USA) Inc. as the applicant. The applicant advised that the Plan will be amended to include Kruger Energy USA – Rhodes Solar Project as the applicant. **No response necessary.**
2. In section 2 it is mentioned that "grade slabs will be broken and removed to a depth of three feet below grade", however the Duanesburg Solar Law requires "The removal of all energy facilities, structures and equipment including any wires and footings from the parcel." The applicant advised that the Plan will be amended to include all electrical equipment and footings. **Understood. The plan has been modified accordingly.**
4. The Plan should mention how existing field drain tiles will be located prior to construction; repaired when encountered during construction and restored during the decommissioning period. A cost for drain tile restoration should be added to the decommissioning cost estimate. The applicant has advised that there are no existing drain tiles, however, we believe the Plan should still address the possibility of encountering some drain tiles. **A note has been added to the plans addressing the possibility of drain tiles if found during installation.**
5. The Site Stabilization section of the Plan should be expanded to discuss NYSDAM Guidelines for Solar Energy Projects – Construction Mitigation for Agricultural Lands (latest edition) for this Agricultural and Residential (R-2) zoned parcel. The applicant has pointed out that the project parcel is not located in the Schenectady County Agricultural District, however, the Town's Solar Law Section 2. Permitting Requirements, Item T. Agriculture states "All solar energy systems shall adhere to the department of Agriculture and Market's Guidelines for Construction Mitigation for Agricultural Lands." **The project site is not in an Ag District. A note has been added to the plans stating "Kruger Energy will adhere to the department of Agriculture and Market's Guidelines for Construction Mitigation for Agricultural Lands"**
6. The applicant should include the cost of the Environmental Monitor to be hired during the property restoration phase as required by NYSDAM. See response to item 5. **A note has been added to the plans stating "Kruger Energy will adhere to the department of Agriculture and Market's Guidelines for Construction Mitigation for Agricultural Lands"**
7. The applicant should include the cost to provide for a monitoring and remediation period of one complete growing season following the date upon which the desired crop is planted after decommissioning. **A note has been added to the plans stating "Kruger Energy will adhere to the department of Agriculture and Market's Guidelines for Construction Mitigation for Agricultural Lands"**
8. We ask that a more detailed decommissioning cost estimate be prepared which includes quantities and unit prices for the individual components, not a general cost per acre. The detailed decommissioning cost estimates will be reviewed once the above additional information is added. The applicant stated that a more detailed estimate can be provided once a complete project is accepted. We believe this should be provided for review prior to Planning Board approval of the project. **Understood. A more detailed estimate will be provided once a complete project is accepted.**
10. We ask that language be added stating that the decommissioning cost estimate needs to be updated and submitted to the Town every 5 years for review and approval and the that decommissioning security be updated accordingly. The applicant has agreed to add this language once a complete project is accepted. We believe this should be provided for review prior to Planning Board approval of the project. **Kruger agrees and language can be added once a complete project is accepted.**
11. A proposed Decommissioning Agreement has not been drafted and included with the Plan for review. This comment still stands. **No responses needed.**

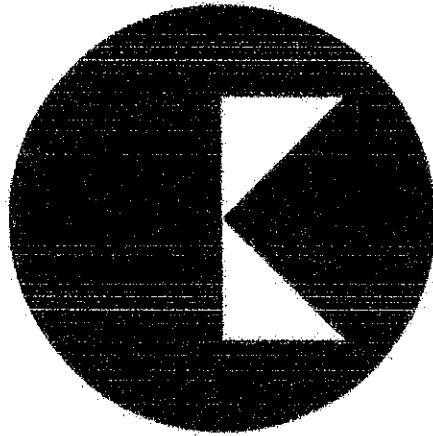
*Other Solar Law Requirements*

1. *A Geotechnical Report containing the requirements of Section 5 of the Town's 2024 Solar Law Amendment has not been provided. A geotechnical report is being completed as noted and will be submitted as soon as it is complete. To date the field work is complete and boring logs are included in the SWPPP narrative.*
2. *The designated traffic routes for construction and delivery vehicles that shows minimization of traffic impacts, wear and tear on local roads and impacts on local business operations needs to be provided. The designated traffic route will be added to the general notes for the project. In general, the routes will be from I-88, then head south onto NYS Route 7, then west onto NYS Route 20, then south onto Alexander Road, then left into 909 Alexander Road. The note will include the statement that no delivery or work vehicles shall be parked or unloaded from Alexander Road at any time.*

If there are any questions, please contact our office or we can set a date to review in person. Thanks for your attentiveness in this matter and we look forward to presenting on the next available agenda.







**DECOMMISSIONING PLAN**  
**4.1MWac SOLAR FACILITY**  
**909 Alexander Rd Duanesburg NY**

**Prepared for**  
**Town of Duanesburg Planning Board**

**Prepared by:**  
**Kruger Energy, Inc.**

**July 9, 2024**

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## LIST OF APPENDIXES

Appendix 1	Management of Excess Materials
Appendix 2	Estimated Decommissioning Cost

## 1.0. INTRODUCTION

Kruger Energy, Inc. ("Project Owner") proposes to build a photovoltaic (PV) solar facility ("Solar Facility") at a location east of the intersection of Alexander Road within the jurisdiction of Duaneburg ("Town") under New York State's Community Solar initiative. The Solar Facility is planned to have a nameplate capacity of approximately 4.1 megawatts (MW) alternating current (AC) ("MW AC") and be constructed on private land ("Project Site").

This Decommissioning Plan provides an overview of activities during the decommissioning phase of the Solar Facilities, including activities related to the restoration of land, management of materials and waste, projected costs, and a proposed decommissioning security agreement overview.

The Solar Facility will have a useful life of twenty-five (25) years.

This Plan assumes the Solar Facility will be dismantled and the Project Site restored to a state similar to its pre-construction condition at approximately the twenty-five (25) year anniversary of the Solar Facility's commercial operation date ("Expected Decommissioning Date") but may operate for longer. This Plan will also apply to the case of the abandonment of the Solar Facilities, for any reason, prior to the Expected Decommissioning Date.

Decommissioning of the Solar Facilities will include the disconnection of the Solar Facilities from the electrical utility grid and the removal of all Solar Facility components, including:

- Photovoltaic (PV) modules, module racking, and supports.
- Inverter units, substations, transformers, and other electrical equipment.
- Access roads, wiring cables, perimeter fence.
- Inverter pad concrete foundations.

This Plan is based on current best management practices and procedures. This Plan may be subject to revision based on new standards and emergent best management practices at the time of decommissioning. Permits will be obtained as required, and stakeholders will receive notification prior to decommissioning.

## 2.0. THE PROPONENT

The Project Owner will manage and coordinate the decommissioning process. The Project Owner will obtain all necessary regulatory approvals depending on the jurisdiction, project design, and site location. The Project Owner is committed to the hosting community's safety, health, and welfare.

The conditions and obligations of this Decommissioning Plan shall be bounded upon the Project Owner, its heirs, executors, administrators, successors, or assigns.

Contact information for the proponent is as follows:

**Company:** Kruger Energy, USA Inc.  
**Contact:** Jean Letourneau  
**Address:** 3285 Chemin Bedford, Montreal, Quebec, H3S 1G5  
**Telephone:** (617) 485 - 6083  
**Email:** \_\_\_\_\_

### Project Information

**Address:** 909 Alexander Rd Duaneburg NY  
**Tax ID:** 65.00-2-15.11  
**Project Size:** Solar Facility of approximately 4.1 MW AC  
**Property Owner:** Charles Rhoades  
**Site Agreement:** Executed Lease

## 3.0. DECOMMISSIONING OF THE SOLAR FACILITY

When decommissioning, the installed components will be removed, reused, disposed of, or recycled, where possible. All equipment removal will be done according to any applicable laws and regulations, including, without limitation, the local laws of the Town applicable to solar energy systems and manufacturer's recommendations. In addition, all applicable permits will be acquired and complied with.

The decommissioning process of the Solar Facilities may commence for the following reasons: (a) Project Owner provides written notice to the Town of its intent to retire or decommission the Project ("Owner Decommissioning Notice") for any reason, including the Solar Facility is damaged and will not be repaired or replaced, (b) the Solar Facility ceases to be operational for more than twelve (12) consecutive months, or (c) the expiration of the Lease with the Property Owner.

Should the Project Owner fail to initiate decommissioning within ninety (90) days after providing the Owner Decommissioning Notice, the Town shall provide Project Owner written notice ("Town Decommissioning

Notice”) prior to the commencement of any decommissioning of the Solar Facilities by the Town. The Town may commence the decommissioning of the Project if the Project Owner fails to decommission the Solar Facility within 360 days of the Town Decommissioning Notice. For the purposes of this Plan, “ceases to be operational” shall mean no generation of electricity other than due to repairs to the Project or causes beyond the reasonable control of the Project Owner, for a period of no less than three hundred sixty (360) consecutive days.

### **3.1. Equipment Dismantling and Removal**

Generally, decommissioning of a Solar Facility proceeds in the reverse order of the installation.

1. The Solar Facility shall be disconnected from the utility power grid.
2. PV modules shall be disconnected, collected, and transported to an approved solar module recycler or reused or resold.
3. All non-utility aboveground and underground electrical interconnection and distribution cables shall be removed, recycled off-site at an approved facility, or reused or resold.
4. Galvanized steel PV module support and racking system support posts shall be removed, recycled off-site at an approved facility, or reused or resold.
5. Electrical and electronic devices, including transformers and inverters, shall be removed, recycled off-site at an approved facility, or reused or resold.
6. Concrete foundations shall be removed and recycled off-site at an approved facility.
7. Fencing shall be removed and will be recycled off-site at an approved facility or reused or resold.

### **3.2. Managing Materials and Waste**

During the decommissioning phase, various excess materials, and wastes (see listed in **Appendix 1**) will be generated. Most of the materials used in a Solar Facility are reusable or recyclable, and some equipment may have manufacturer take-back and recycling requirements. Any remaining materials will be removed and disposed of off-site at an approved facility. The Project Owner will establish policies and procedures to maximize recycling and reuse and will work with manufacturers, local subcontractors, and waste firms to segregate material to be disposed of, recycled, or reused.

The Project Owner will be responsible for the logistics of collecting and disposing or recycling the PV modules. Some manufacturers and others are currently looking for ways to recycle and/or reuse solar modules when they have reached the end of their lifespan or are no longer used. Due to a recent increase in the use of solar energy technology, a large number of modules from a variety of projects will be nearing the end of their lifespan in 25-30 years. Therefore, it is anticipated that more recycling options will be available for modules at that time. The Project Owner will dispose of the modules using best management practices at the time of decommissioning.

### **3.3 Environmental Effects**

Decommissioning activities, particularly the removal of installed components, could result in environmental effects similar to the construction phase. Therefore, mitigation measures similar to those employed during the construction phase of the Solar Facilities will be implemented. These will remain in place until the site achieves 80% stabilization to mitigate erosion and silt/sediment runoff and any impacts on the neighboring properties to the Project Site.

Road traffic will temporarily increase due to decommissioning crews and vehicle movement. During decommissioning, there may be a temporary increase in particulate matter (dust) on the Project Site. If needed, dust suppression will be implemented.

In addition, decommissioning activities may lead to temporarily elevated noise levels from machinery and increased trips to the Project Site. Work will be undertaken during daylight hours and conform to any applicable restrictions.

### **3.4 Site Restoration**

The Project Site will be restored to a state similar to its pre-construction condition at the completion of decommissioning. All installed components (see **Appendix 1**) will be removed. Rehabilitated lands will be seeded with a low-growing species to help stabilize soil conditions, enhance soil structure, and increase soil fertility. Site grading will be limited to that needed to prevent concentrating surface flows and to remove vehicle ruts. The access route will be removed or left in place and stabilized as directed by the property owner.

### **3.5 Decommissioning During Construction or Abandonment Before Maturity**

In case of abandonment of the Solar Facility during construction or before the Expected Decommissioning Date, the same decommissioning procedures as for decommissioning after ceasing operation will be undertaken, and the same decommissioning and restoration program will be implemented.

### **3.6 Decommissioning Notification**

Decommissioning activities may require the notification of stakeholders, given the nature of the works at the Project Site. The local municipality will be notified prior to the commencement of any decommissioning activities. Project Owner will maintain a current list of stakeholders and notify appropriate federal, county, and local authorities as needed to discuss the potential approvals required to engage in decommissioning activities.

#### **4.0. COST OF DECOMMISSIONING**

The estimated costs indicated in Appendix 2 have been reviewed by Kruger Energy, and commission the Solar Facility. Such estimated decommissioning costs are comparable to those derived from the NY PVTN Decommissioning Fact Sheet, which is based on guidance from NYSERDA.

While the salvage value of valuable recyclable materials (aluminum, steel, copper, etc.) is not factored into the decommissioning costs, the salvage value of such materials (to be determined based on market rates at the time of salvage) is expected to be an amount that could substantially cover the estimated decommissioning cost.

#### **5.0. DECOMMISSIONING SECURITY**

On or prior to the commencement of construction, Project Owner will provide financial assurance to the Town that funds will be available to decommission the Solar Facility. The form of financing provided is an irrevocable standby Letter of Credit (the "LC") or another appropriate financial security that is solely for the benefit of the Town. The LC or other Board-approved financial security shall be in place and filed with the Town prior to commencement of construction. The Town may utilize the decommissioning bond for the removal of the Solar Facility upon abandonment as set forth in section 3 herein. Per the Town requirements, upon request, the decommissioning cost estimate will be updated and submitted to the Town every 5 years for review and approval and the that decommissioning security be updated accordingly.

#### **6.0. SUMMARY**

This Plan has been submitted as part of the Town's Site Plan/Special Use Permit review under the NYSERDA model Solar Energy Law. The Solar Facility is a Tier 3 Solar Energy System as set forth in the Solar Energy Law. Therefore, the Town review of the Site Plan/Special Use Permit includes this Plan. If existing drain field tiles are located pre-construction, they will be repaired and restored during the decommissioning period if deemed necessary to return the site to pre-construction status.



**APPENDIX I**  
**Management of Excess Materials and Waste**

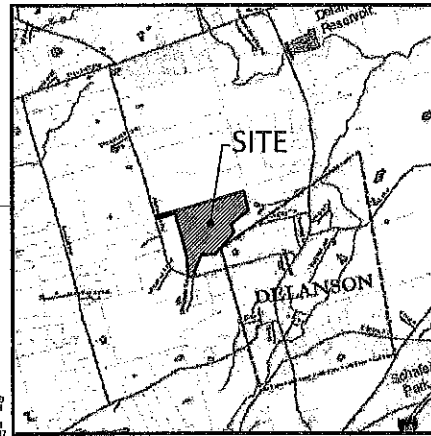
Material / Waste	Means of Managing Excess Materials and Waste
PV Modules	If there is no possibility for reuse, the panels will either be returned to the manufacturer for appropriate disposal or will be transported to a recycling facility where the glass, metal, and semiconductor materials will be separated and recycled.
Metal array mounting racks and steel supports	These materials will be recycled off-site at an approved facility, reused, or resold.
Transformer(s) and substation components	The preferred option is to reuse or resell these components. If this is not possible, the small amount of oil from the transformer(s) will be removed on-site to reduce the potential for spills and will be transported to an approved facility for disposal. In addition, the substation transformer and step-up transformers will be transported off-site to be sent back to the manufacturer, recycled, reused, or safely disposed of off-site in accordance with current standards and best practices.
Inverters, fans, fixtures	The metal components of the inverters, fans, and fixtures will be disposed of, reused, resold, or recycled, where possible. The remaining components will be disposed of in accordance with the standards of the day.
Gravel (or other granular)	Road material will be offered to the property owner and left in serviceable condition if the property owner so desires. It is possible that the municipality may accept uncontaminated material without processing for use on local roads. However, for the purpose of this report it is assumed that the material will be removed from the project location by truck to a location where the materials can be processed for salvage. It is not expected that any such material will be contaminated.
Geotextile fabric	It is assumed that a large portion of the geotextile will be "picked up" and sorted at the reprocessing site during the excavation of the components. Geotextile fabric that is remaining or large pieces that can be readily removed from the excavated aggregate will be disposed of off-site at an approved disposal facility.
Concrete medium voltage skid Foundations	Concrete foundations will be broken down and transported by a certified and licensed contractor to a recycling or approved disposal facility.
Cables and wiring	The electrical line that connects the electrical utility grid to the point of common coupling will be disconnected and disposed of at an approved facility. If made of untreated wood, support poles will be removed and may be chipped for reuse. Associated electronic equipment (isolation switches, fuses, metering) will be transported off-site to be sent back to the manufacturer, recycled, reused, or safely disposed off-site in accordance with current standards and best practices.
Fencing	Fencing will be removed and reused, resold, or recycled at an appropriate recycling facility.
Debris	Any remaining debris on the site will be separated into recyclables or residual wastes and will be transported from the site and managed as appropriate.

**APPENDIX 2**  
**Estimated Decommissioning Costs**

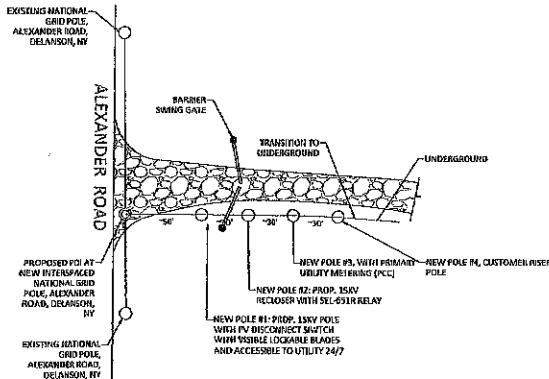
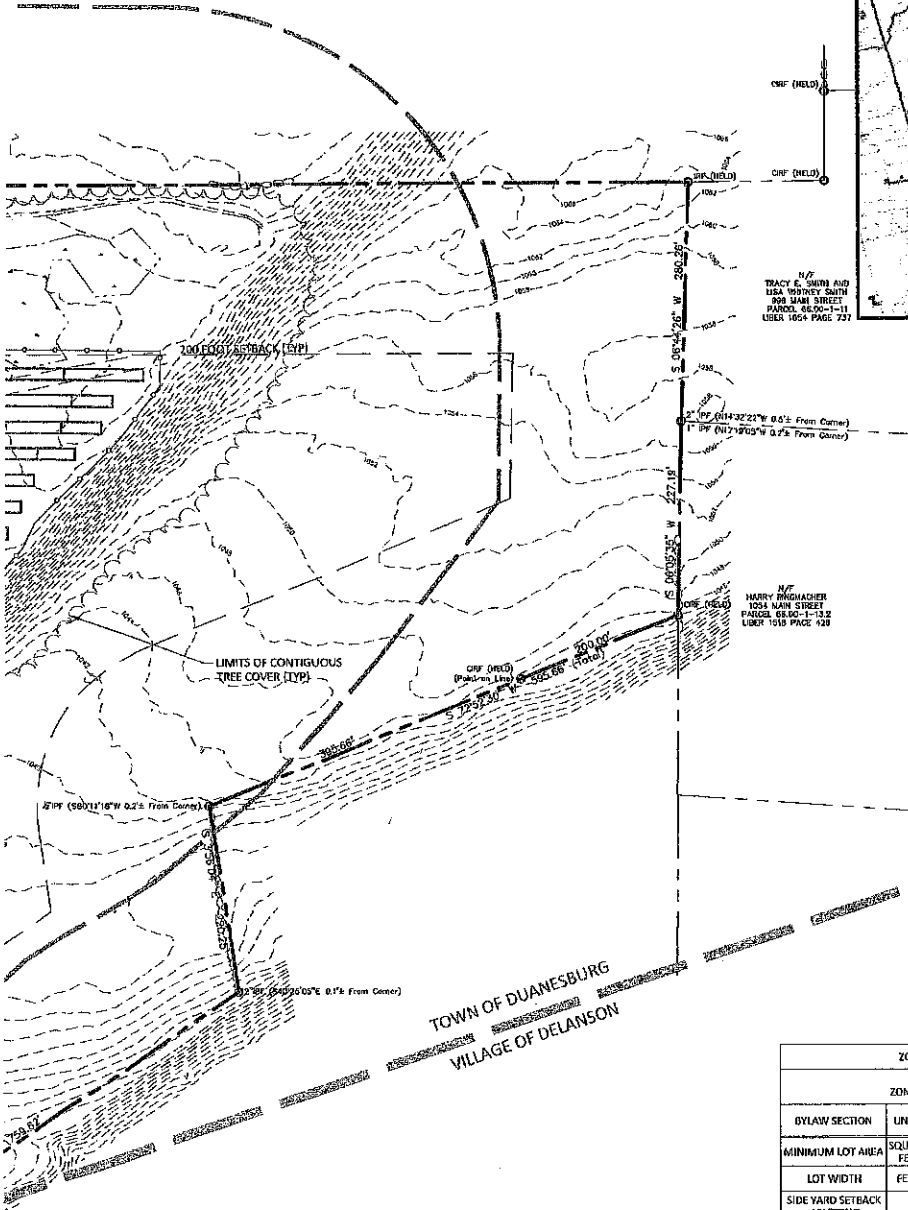
Tasks	Estimated Cost (\$)
Remove Panels	\$ 9,000
Remove Racking Wiring	\$ 8,000
Dismantle Racks	\$ 30,000
Remove and Load Electrical Equipment	\$ 4,000
Break up Concrete Pads	\$ 8,000
Remove Racks	\$ 18,000
Remove Cable	\$ 15,000
Remove Ground Screws and Power Poles	\$ 33,000
Remove Fence	\$ 20,000
Grading and drain tile replacement	\$ 10,000
Seed Disturbed Areas and Monitoring	\$ 5,000
Truck to Recycling Center	\$ 5,000
Conservative Estimate of Metal Salvage Value	-\$ 50,000
Today's Total Cost	\$ 115,000
Total Cost with 2% Escalation over 25 Years	\$ 188,670



MAP REFERENCES:  
BOUNDARY AND TOPOGRAPHIC INFORMATION GENERATED FROM K1 OR C1 ABOUT APRIL 24, 2021  
EXCUTTED "TOPOGRAPHIC & TOPOGRAPHIC SURVEY" (ANDS OF CHABLES BRIDGES 909 ALEXANDER  
ROAD VILLAGE OF DELANSON"



SITE LOCATION MAP  
SCALE: 1"=2000'



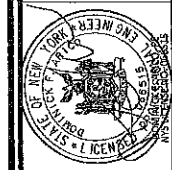
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SCALE: NONE

ZONING SUMMARY TABLE for UTILITY SOLAR SYSTEM						
PARCEL NUMBER: 65.00-2-15.11						
ZONING DISTRICT: AGRICULTURAL AND RESIDENTIAL, R-2						
BYLAW SECTION	UNITS	REQUIRED	PROVIDED	NOTES	CODE COMPLIANT	CODE VARIANT
MINIMUM LOT AREA	SQUARE FEET	100,000 (2.29AC)	2,168,416.8 (53.59AC)	NONE	YES	NONE
LOT WIDTH	FEET	200	230	NONE	YES	NONE
SIDE YARD SETBACK ABUTTING NON-PARTICIPATING PROPERTY	FEET	200*	200	FROM MODULES OR EQUIPMENT PADS	YES	NONE
YARD SETBACK FROM EXTERIOR OF OCCUPIED RESIDENCE	FEET	400*	600*	FROM MODULES OR EQUIPMENT PADS	YES	NONE
REAR YARD SETBACK ABUTTING RESIDENTIAL DISTRICT	FEET	200*	200	FROM MODULES OR EQUIPMENT PADS	YES	NONE
MAXIMUM SOLAR PANEL HEIGHT	FEET	15*	12.0	FROM TOP OF SOLAR MODULE BACK TO GROUND	YES	NONE
MAXIMUM LOT COVERAGE BY UTILITY SOLAR	%	60*	15.5	GRAVEL AND EQUIPMENT PADS	YES	NONE

\*FROM SOLAR BYLAW

ZONING SUMMARY TABLE for RESIDENTIAL DEVELOPMENT						
PARCEL NUMBER: 65.00-2-15.2; 65.00-2-13; 65.00-2-44						
ZONING DISTRICT: AGRICULTURAL AND RESIDENTIAL, R-2						
BYLAW SECTION	UNITS	REQUIRED	PROVIDED	NOTES	CODE COMPLIANT	CODE VARIANT
MINIMUM LOT AREA	SQUARE FEET	100,000 (2.29AC)	157,687.24 (3.62AC)	NONE	YES	NONE
MIN. LOT WIDTH	FEET	200	425	NONE	YES	NONE
MIN LOT DEPTH	FEET	200	368.8	NONE	YES	NONE
SIDE YARD SETBACK	FEET	40	40	NONE	YES	NONE
FRONT YARD SETBACK	FEET	80	80	NONE	YES	NONE
REAR YARD SETBACK	FEET	80	80	NONE	YES	NONE
MAXIMUM LOT COVERAGE	%	25	>25	NONE	YES	NONE

**ARICO ASSOCIATES**  
ENGINEERS  
1407 Route 9 - Bldg 2, Suite 6  
CLIFTON PARK, NY 12065  
aricoassociates@gmail.com

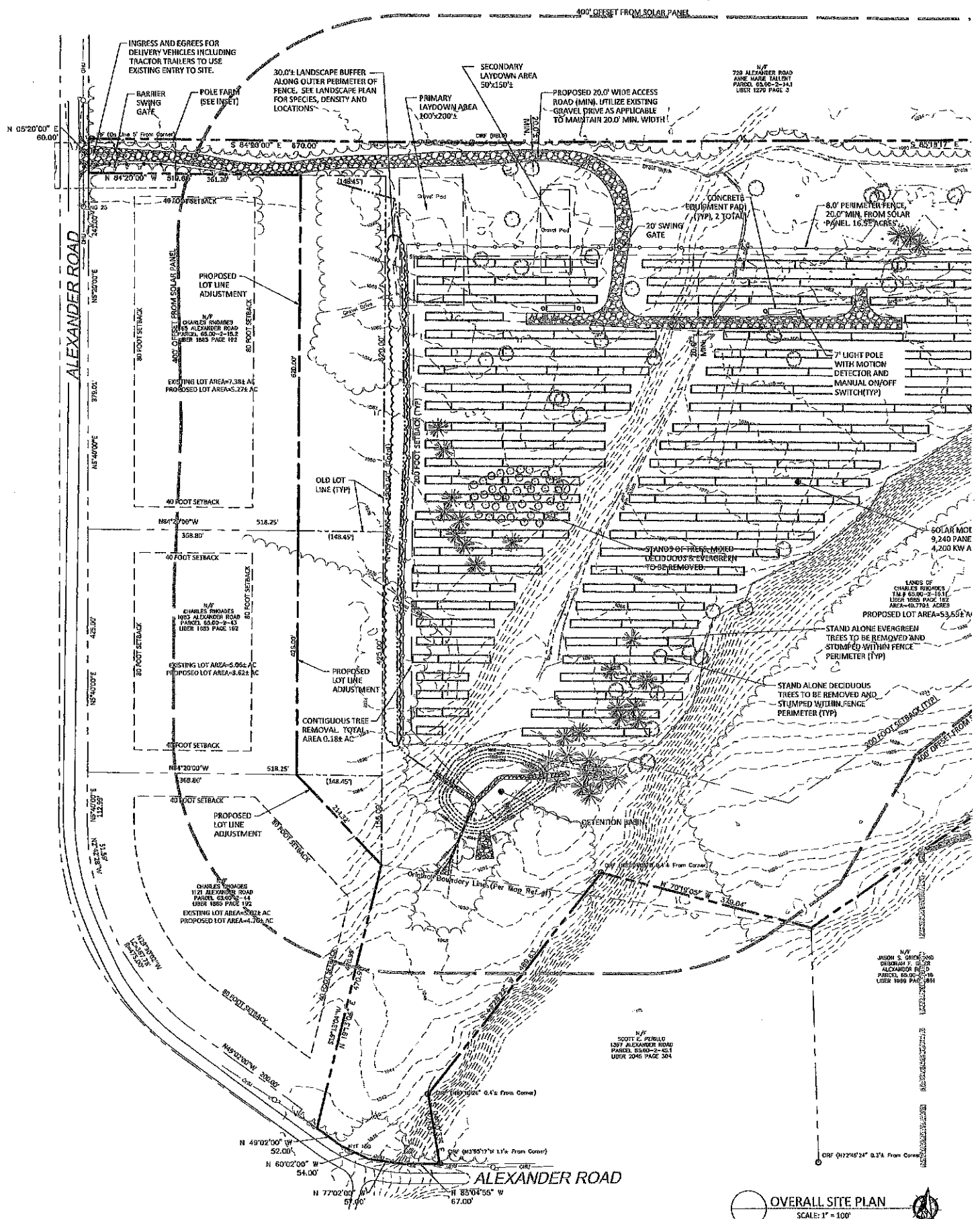


LAYOUT PLAN  
PROPOSED PV PLANT - 909 ALEXANDER RD  
KRUGER ENERGY, L.P.  
TAX MAP ID: 65.00-2-15.11  
TOWN OF DUANEBURG  
SHEEN/ACT COUNTY  
DRAWN BY: JAK  
CHECKED BY: JAK  
DATE: 06/08/24  
SCALE: AS SHOWN

NO.	DATE	BY	REVISION
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2	06.08.24	AA	PER TOWN COMMENTS



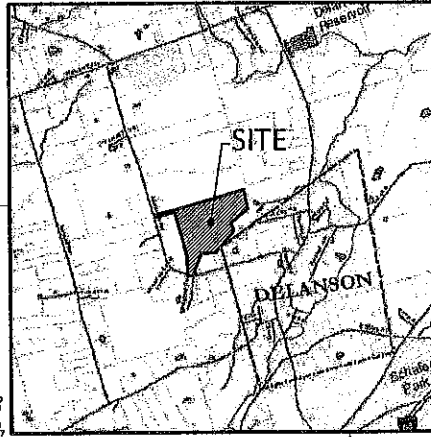
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SHEET 1 OF 5



**OVERALL SITE PLAN**  
SCALE: 1" = 100'

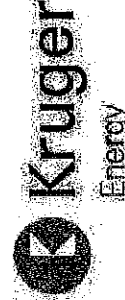


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ROAD VILLAGE OF DELANSON"

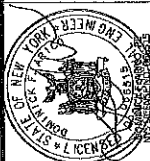


SITE LOCATION MAP  
SCALE: 1"=2000'

NO.	DATE	REVISION	BY
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2	06.08.24	PER TOWN COMMENTS	AA



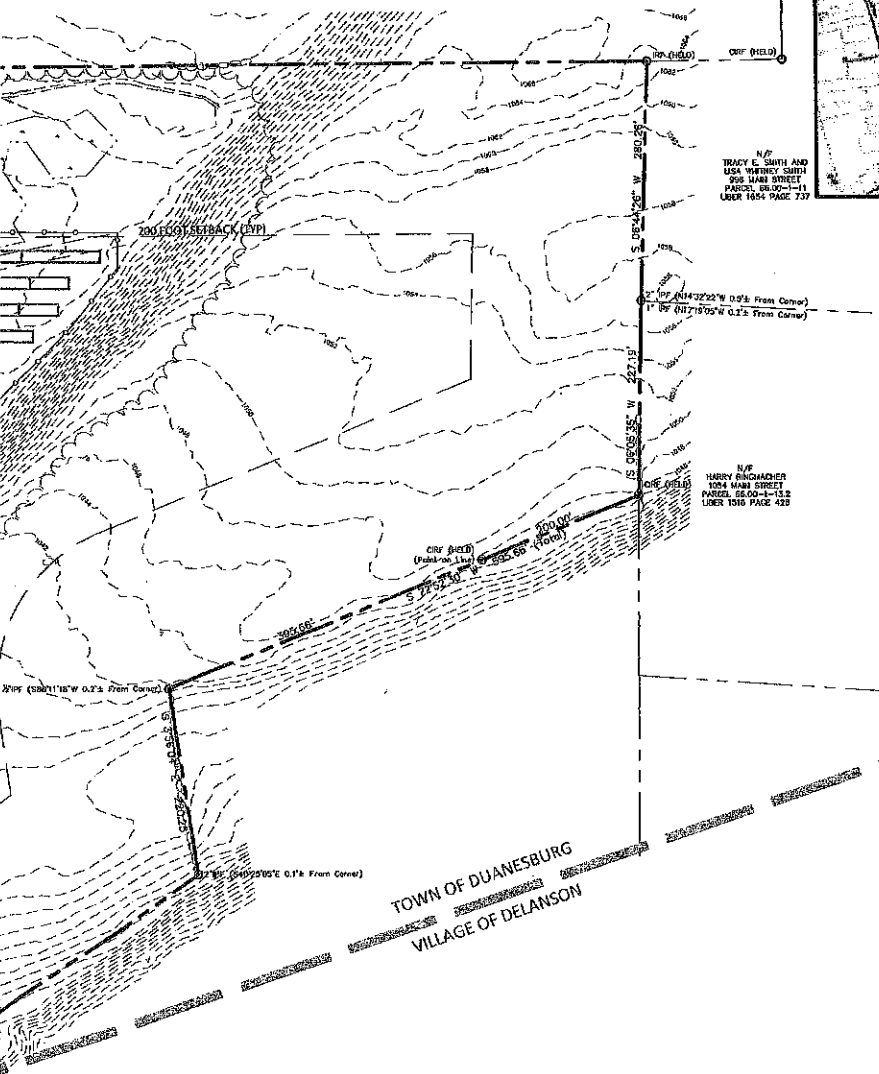
**ARICO ASSOCIATES**  
ENGINEERS  
LAND PLANNERS  
& CONSULTANTS  
1407 Route 9 - Bldg 2, Suite 6  
Clifton Park, NY 12065  
aricoassociates@gmail.com



LOT LINE ADJUSTMENT PLAN  
PROPOSED BY PLANT - 909 ALEXANDER RD  
KRUGER ENERGY, L.P.  
TAX MAP ID: 65.00-2-15.11  
NEW YORK  
SCHENECTADY COUNTY  
DRAWN BY: JAA  
CHECKED BY: JAA  
DATE: JAN 2024  
JOB NUMBER: 2403  
SCALE: AS SHOWN

N/P  
TRACY C. SMITH AND  
KIM WINTER SMITH  
908 MAIN STREET  
PARCEL 65.00-1-11.1  
UNDER 1654 PAGE 737

N/P  
HARRY KESCHMAYER  
1004 MAIN STREET  
PARCEL 65.00-1-11.2  
UNDER 1654 PAGE 428

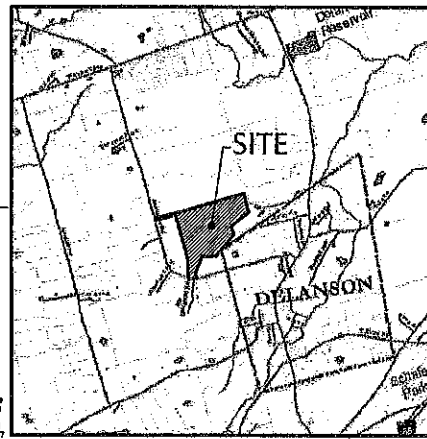


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BYLAW SECTION	UNITS	REQUIRED	PROVIDED	NOTES	CODE COMPLIANT	CODE VARIANT
MINIMUM LOT AREA	SQUARE FEET	100,000 (2.29+AC)	157,687.21 (3.62+AC)	NONE	YES	NONE
MIN. LOT WIDTH	FEET	200	425	NONE	YES	NONE
MIN LOT DEPTH	FEET	200	368.8	NONE	YES	NONE
SIDE YARD SETBACK	FEET	40	40	NONE	YES	NONE
FRONT YARD SETBACK	FEET	80	80	NONE	YES	NONE
REAR YARD SETBACK	FEET	80	80	NONE	YES	NONE
MAXIMUM LOT COVERAGE	%	25	>25	NONE	YES	NONE

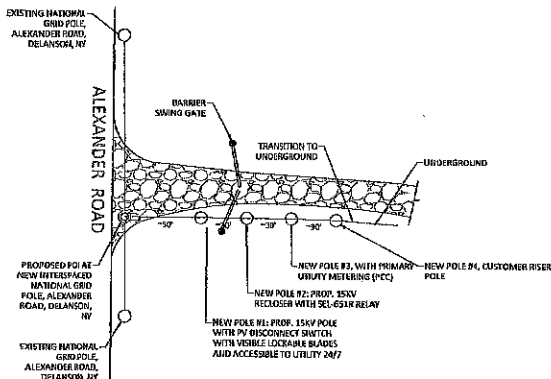
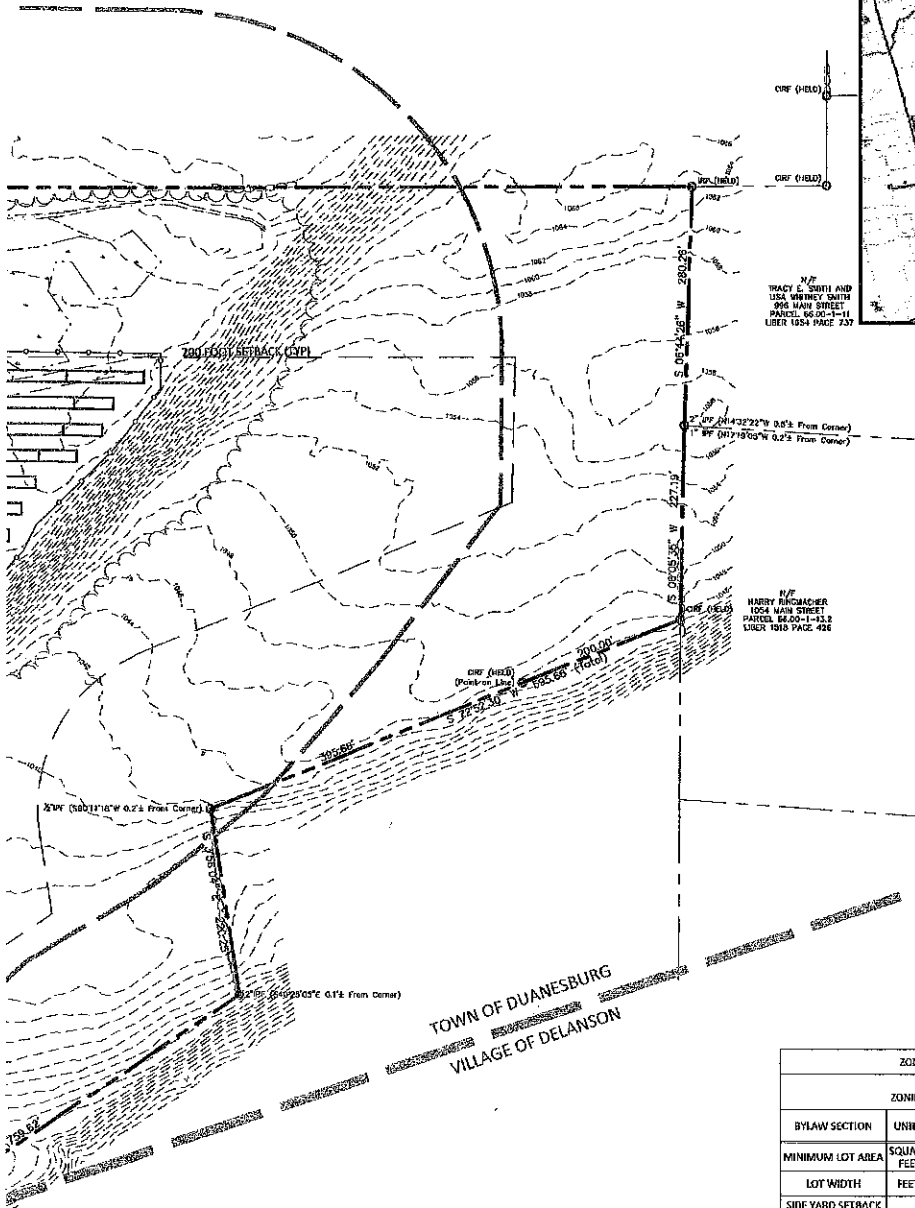
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720 ALEXANDER ROAD  
ANNE MARIE TALLENT  
PARCEL 65-00-2-14.1  
LIBR 1270 PAGE 3



MAP REFERENCES:  
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ROAD VILLAGE OF DELANSON"



SITE LOCATION MAP  
SCALE: 1"=2000'

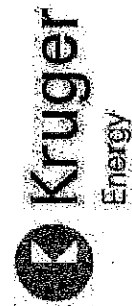


POLE FARM LAYOUT  
SCALE: NONE

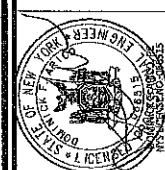
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ZONING DISTRICT: AGRICULTURAL AND RESIDENTIAL, R-2						
BYLAW SECTION	UNITS	REQUIRED	PROVIDED	NOTES	CODE COMPLIANT	CODE VARIANT
MINIMUM LOT AREA	SQUARE FEET	100,000 (2.29+AC)	2,168,416.8 (53.59+AC)	NONE	YES	NONE
LOT WIDTH	FEET	200	230	NONE	YES	NONE
SIDE YARD SETBACK ADJUTING NON-PARTICIPATING PROPERTY	FEET	200*	200	FROM MODULES OR EQUIPMENT PADS	YES	NONE
YARD SETBACK FROM EXTERIOR OF OCCUPIED RESIDENCE	FEET	400*	600+	FROM MODULES OR EQUIPMENT PADS	YES	NONE
REAR YARD SETBACK ADJUTING RESIDENTIAL DISTRICT	FEET	200*	200	FROM MODULES OR EQUIPMENT PADS	YES	NONE
MAXIMUM SOLAR PANEL HEIGHT	FEET	15*	12.0	FROM TOP OF SOLAR MODULE RACK TO GROUND	YES	NONE
MAXIMUM LOT COVERAGE BY UTILITY SOLAR	%	60*	16.5	GRAVEL AND EQUIPMENT PADS	YES	NONE
*FROM SOLAR BYLAW						

ZONING SUMMARY TABLE for RESIDENTIAL DEVELOPMENT						
PARCEL NUMBER: 65.00-2-15.2; 65.00-2-43; 65.00-2-44						
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MINIMUM LOT AREA	SQUARE FEET	100,000 (2.29+AC)	157,687.25 (3.62+AC)	NONE	YES	NONE
MIN. LOT WIDTH	FEET	200	425	NONE	YES	NONE
MIN LOT DEPTH	FEET	200	368.8	NONE	YES	NONE
SIDE YARD SETBACK	FEET	40	40	NONE	YES	NONE
FRONT YARD SETBACK	FEET	80	80	NONE	YES	NONE
REAR YARD SETBACK	FEET	80	80	NONE	YES	NONE
MAXIMUM LOT COVERAGE	%	25	>25	NONE	YES	NONE

NO.	DATE	REVISION	BY
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2	06.06.24	PER TOWN COMMENTS	AA

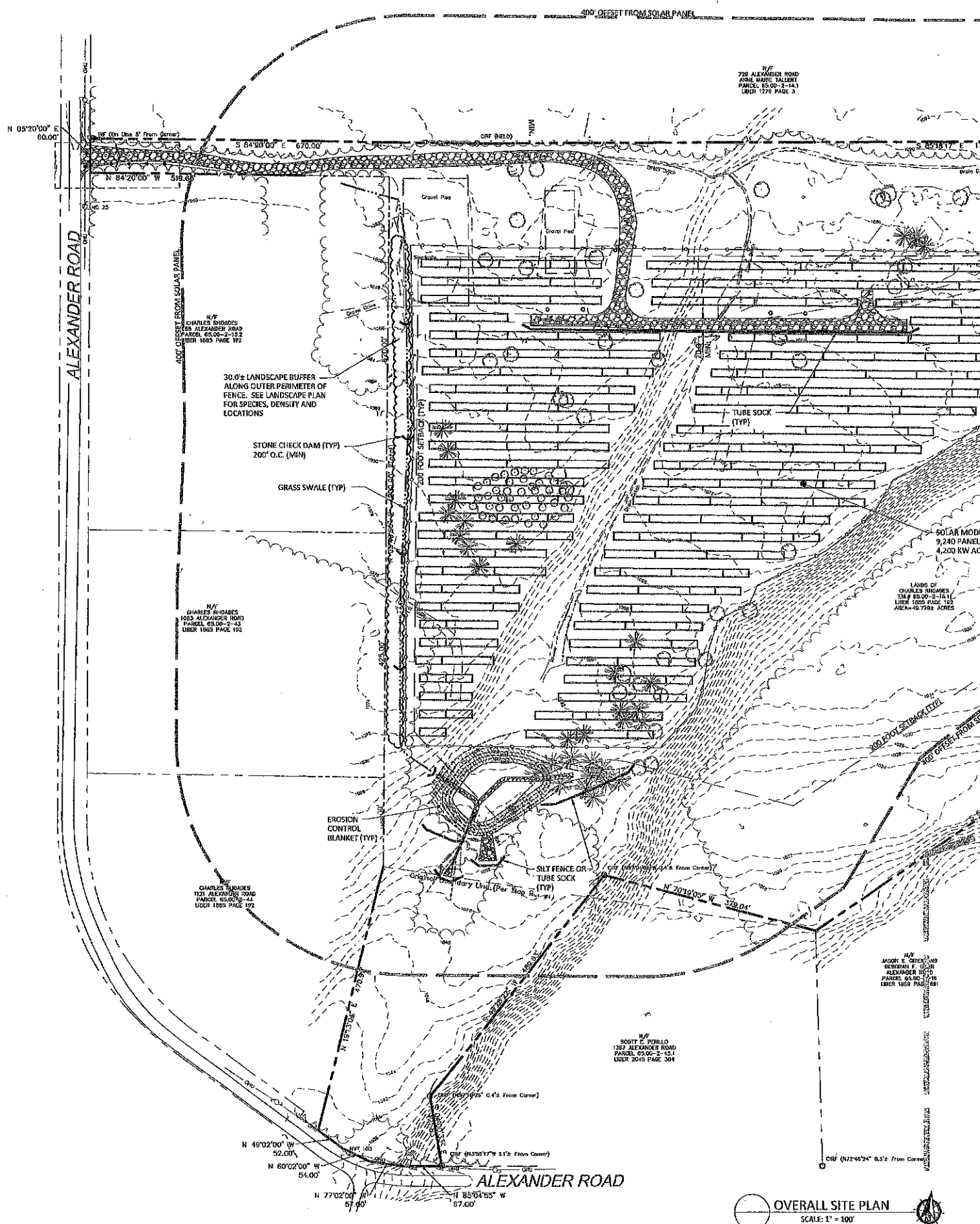


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aricoassociates@gmail.com



EROSION & SEDIMENT CONTROL PLAN  
PROPOSED PV PLANT - 909 ALEXANDER RD  
KRUGER ENERGY, L.P.  
TAX MAP ID: 65.00-2-15.11  
SCHENECTADY COUNTY  
TOWN OF DUANEBURG  
DATE: 04/20/24  
DRAWN BY: DPA  
CHECKED BY: WCB  
SCALE: AS SHOWN

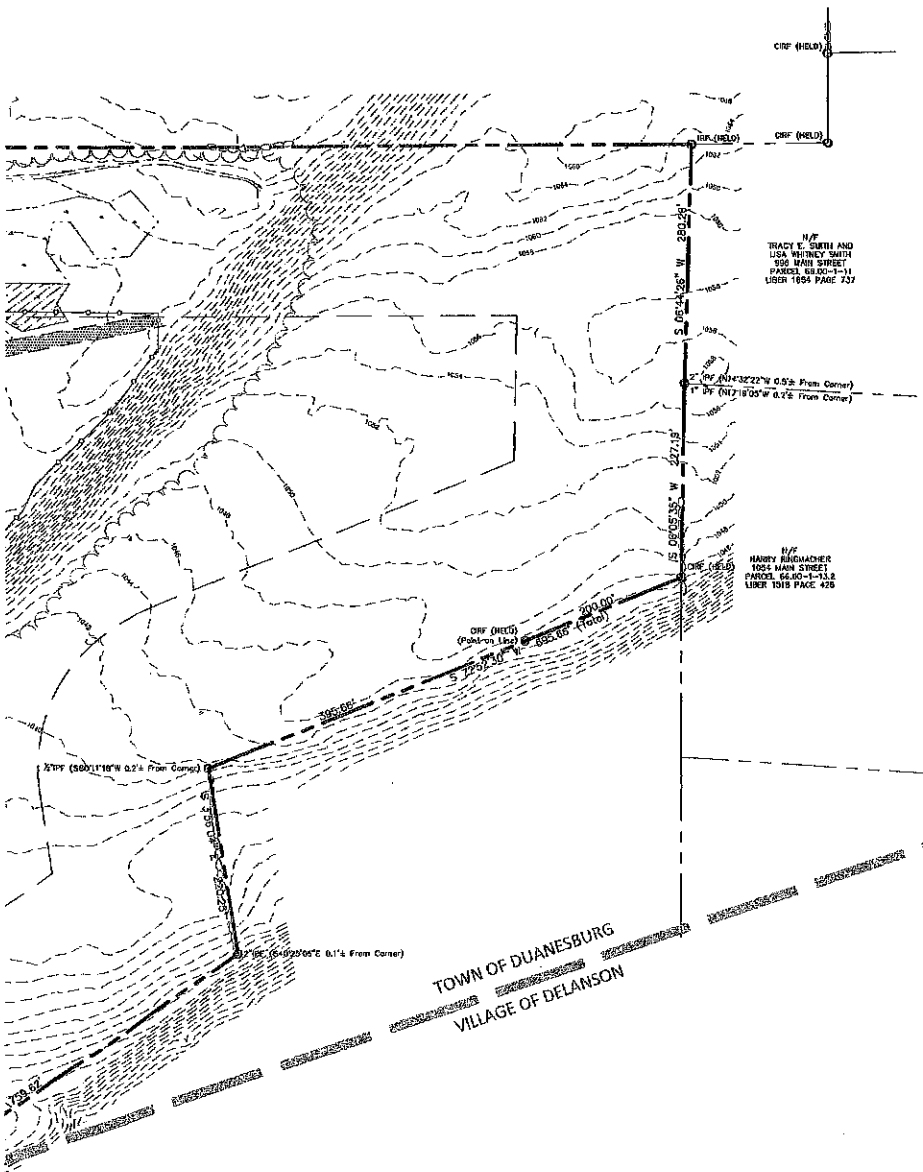




**OVERALL SITE PLAN**  
SCALE: 1" = 100'



MAP REFERENCES:  
BOUNDARY AND TOPOGRAPHIC INFORMATION GENERATED FROM PC QN 08 ABOUT APRIL 24, 2023  
ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY LANDS OF CHARLES RHODES 369 ALEXANDER  
ROAD VILLAGE OF DELANSON"



SITE SURFACE CONDITIONS AND DISTURBANCE AREAS				
DESCRIPTION	UNITS	EXISTING	PROPOSED	CHANGE
TOTAL LOT AREA	ACRES	53.59±	53.59±	0.0±
TREE COVER	ACRES	23.30±	23.12±	-1.55±
GRAVEL ROADS	ACRES	2.54±	0.99±	-0.25±
MEADOWS	ACRES	26.22±	28.03±	+1.81±
WETLANDS	ACRES	1.4±	1.4±	0.0±

NO.	DATE	REVISION	BY
1	04.26.24	PER TOWN COMMENTS	AA
2	06.08.24	PER TOWN COMMENTS	AA

**Kruger Energy**

**ARICO ASSOCIATES**  
ENGINEERS  
LEAD PLANNERS  
1407 ROUTE 9 - Bldg 2, Suite 6  
CLIFTON PARK, NY 12065  
aricoassociates@gmail.com



REMOVAL & DISTURBANCE PLAN  
PROPOSED PV PLANT - 909 ALEXANDER RD  
KRUGER ENERGY, L.P.  
TAX MAP ID: 65.00-2-15.11

TOWN OF DUANESBURG  
DATE: JAN 2025  
SCALE: AS SHOWN  
JOB NUMBER: 23-05  
CHECKED BY: JMB



AIN AND PAD

FINISHED GRADE

2-WP FIXTURES W/ LED LAMPS, APPROX. 30W TOTAL

WP MOTION SENSOR

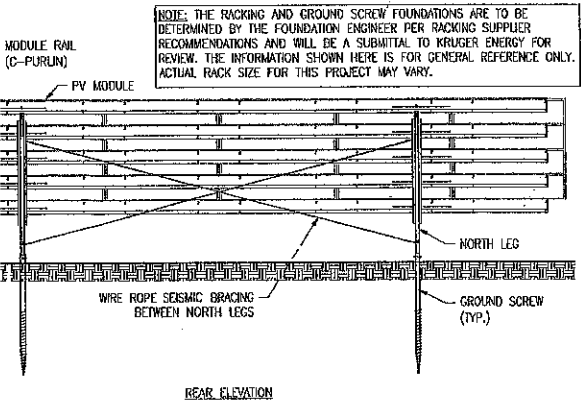
1" EMT RISER, SECURED TO STRUT RACK, TERMINATE AT SOURCE OF POWER

SECURED TO CONCRETE WITH 3/8" DIA FLANGE BASE PLATE OR EQUIVALENT

EQUIPMENT PAD

FINISHED GRADE

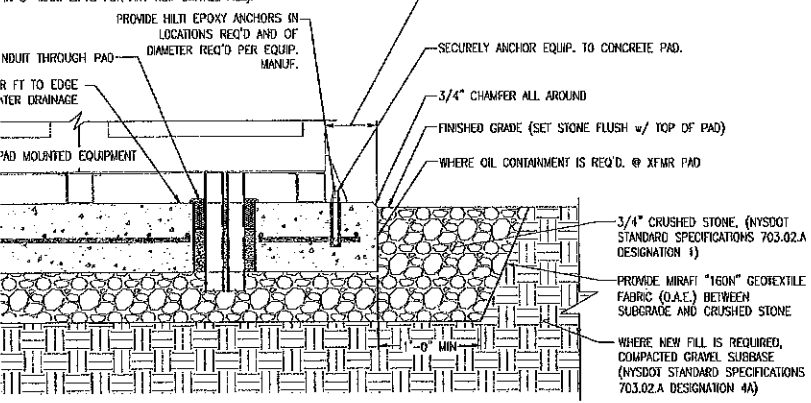
DETAIL



SECTION & ELEVATION

SCALE

DEPTH WITHIN PAD BEARING AREA. VEL. SUITABLE FOR BEARING AND SHALL BE COMPACTED IN 8" MAX. LIFTS FOR ANY NEW GRAVEL FILL.



EQUIPMENT PAD DETAIL

SCALE: NO SCALE

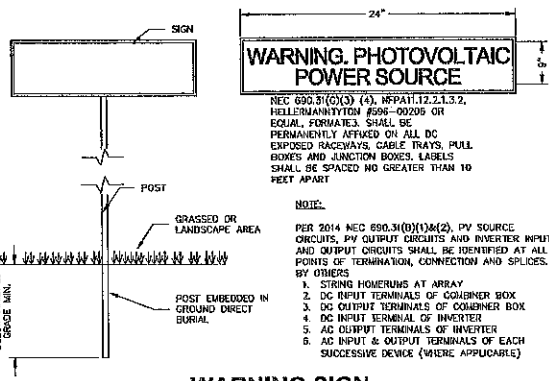
ACCESS DRIVE SECTION

SCALE: NO SCALE

DETAIL SHOWS FULL WIDTH OF ACCESS DRIVE. WHERE EXISTING ACCESS DRIVE NEEDS EXPANSION TO MEET THE 20' WIDTH, THE SAME SECTION SHALL BE USED IN THE EXPANSION AREA.

GENERAL SITE NOTES:

1. CONTRACTOR IS TO VERIFY THAT ALL NECESSARY WORK PERMITS AND EASEMENTS ARE IN PLACE PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS AND TAKE ALL SPECIAL TEMPORARY AND PERMANENT PRECAUTIONS NECESSARY TO ENSURE A STABLE AND SECURE JOB.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY TOWN, COUNTY OR STATE HIGHWAY CUT PERMITS.
4. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND EASEMENTS PRIOR TO CONSTRUCTION AND BECOME FAMILIAR WITH THE CONDITIONS OF EACH PERMIT.
5. THE CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS, AND DRIVEWAYS.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND RIGHT-OF-WAY LIMITS PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES SUCH AS GAS, POWER, TELEPHONE, CABLE TV, WATER, SEWER, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. AS PER NYS INDUSTRIAL CODE 63-01: CONTRACTOR TO CALL 212 SAFELY NEW YORK, INC. AT 1-800-555-7962 TO LOCATE BURIED CABLES OR OTHER UNDERGROUND UTILITIES NO LESS THAN TWO OR MORE THAN TEN WORKING DAYS PRIOR TO DIGGING, DRILLING, EXCAVATING, DRIVING POSTS, ETC.
9. CONTRACTOR MUST VERIFY THE ACCEPTABILITY OF ALL CONSTRUCTION MATERIALS WITH MUNICIPALITY'S ENGINEER PRIOR TO ORDERING.
10. ANY EXISTING STORM SEWERS AND UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND FOR INFORMATION ONLY. THE CONTRACTOR SHALL HAVE THEIR EXACT LOCATION CHECKED AT THE SITE BEFORE CONSTRUCTION BEGINS.
11. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING PIPE INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES WHICH RESULT MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, GRADES, PIPE INVERTS AND ELEVATIONS AND REVIEW WITH CONSULTANT BEFORE CONSTRUCTION.
12. ALL EXCAVATION TO MEET OSHA AND NYS DOT SAFETY REGULATIONS AND STANDARDS.
13. THE CONTRACTOR SHALL FILL IN, AND RE-EXCAVATE, AS NECESSARY TO RESUME WORK, ANY EXCAVATIONS OR TRENCHES AT LOCATIONS AND AS OFTEN AS MAY BE REQUIRED TO ENSURE PROTECTION OF THE WORK, ANY ADJACENT EXISTING FACILITIES, OR THE PUBLIC.
14. THE CONTRACTOR SHALL CLEAN UP THE JOB SITE DAILY BEFORE LEAVING THE JOBSITE. ALL RUBBISH MUST BE CLEANED UP AND CONSTRUCTION EQUIPMENT MUST BE PROPERLY TAKEN CARE OF AND STORED AT THE END OF THE DAY.
15. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL AND SAFETY DURING CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL FLAGMEN AND SIGNS, DELINEATORS, BARRIERS, AND DEVICES NECESSARY FOR TRAFFIC CONTROL DURING ANY EARTH MOVING OPERATION OR OTHER CONSTRUCTION ACTIVITY WHICH INVOLVES PUBLIC HIGHWAYS.
16. ALL TRAFFIC SIGNS, CONTROL DEVICES AND INFORMATIONAL ITEMS, IF DISTURBED DURING CONSTRUCTION WITHIN CONTRACT LIMIT LINES, SHALL BE RELOCATED AS PER APPROVAL OF MUNICIPALITY.
17. RESTORATION OF PAVEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPLACE AND RESTORE PAVEMENT WITH MATERIAL TO A CONDITION EQUAL TO OR BETTER THAN PRECONSTRUCTION CONDITIONS. ALL PAVEMENT AND RIGHT-OF-WAY RESTORATION WORK TO BE DONE TO THE SATISFACTION OF THE STATE, COUNTY OR LOCAL MUNICIPAL HIGHWAY DEPARTMENT.
18. CONTRACTOR SHALL RESTORE ALL LAWNS, DRIVEWAYS, WALKS, WALLS, CURBS, FENCES, ETC. TO A CONDITION AT LEAST AS GOOD AS THEY WERE BEFORE BEING DISTURBED. IT MAY BE NECESSARY TO TIE OR HOLD BACK UTILITY POLES DURING CONSTRUCTION. THIS SHOULD BE ACCOMPLISHED IN COOPERATION WITH UTILITY COMPANIES.
19. NO WORK, STORAGE OR TRAFFIC SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENTS OR R.O.W. AS SHOWN.
20. CONTRACTOR TO COMPLY WITH ALL OSHA AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION (PROPER SHORING, ETC.).
21. ALL SITE WORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. WHERE ACCESS OR WORK OUTSIDE OF PROPERTY BOUNDARY IS NECESSARY, THE PERMISSION OF ADJOINING PROPERTY OWNER MUST FIRST BE OBTAINED.
22. ALL AREAS OF THE SITE WHICH ARE DISTURBED AND NOT PAVED SHALL BE TOPSOILED AND SEEDS.
23. ALL AREAS OF THE SITE WHICH ARE DISTURBED AND NOT PAVED SHALL BE TOPSOILED AND SEEDS.
24. SOLAR PANEL, EQUIPMENT PAD, AND MV UNDERGROUND CABLE LAYOUT WERE PROVIDED BY OTHERS.
25. SOLAR PANEL, EQUIPMENT PAD, AND MV UNDERGROUND CABLE DESIGN, INCLUDING, BUT NOT LIMITED TO SUBGRADE SUITABILITY, PREPAVATION, REQUIRED TRENCHING, AND BEDDING TO BE DESIGNED BY OTHERS.
26. PLANS ARE FOR MUNICIPAL APPROVAL ONLY AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION. PURCHASER WILL BE RESPONSIBLE FOR PREPARING A CONSTRUCTION LEVEL PLAN SET.



WARNING SIGN

SCALE: NO SCALE

NO.	DATE	REVISION
1	04.26.24	PER TOWN COMMENTS
2	06.05.24	PER TOWN COMMENTS

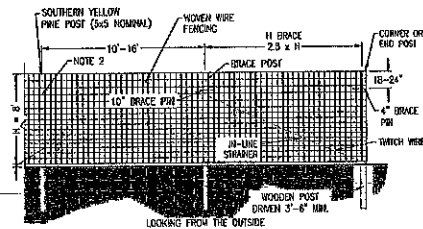
**Kruger Energy**

**ARICO Associates**  
ENGINEERS  
LAND PLANNERS  
& CONSULTANTS  
1407 Route 9 - Bldg 2, Suite 6  
Crown Point, NY 12066  
aricoassociates@gmail.com



CONSTRUCTION DETAILS & NOTES  
PROPOSED PV PLANT - 909 ALEXANDER RD  
KRUGER ENERGY, L.P.  
TAX MAP ID: 65-00-2-15.11  
TOWN OF DANEBURG  
Schenectady County  
DATE: JAN 2024  
JOB NUMBER: 25-05  
NEW YORK SCALE: AS SHOWN

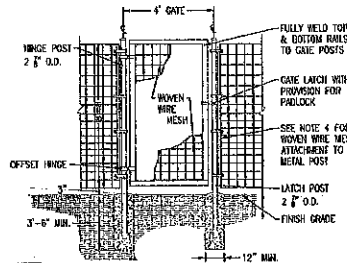
C200



- NOTES:
- CORNER BRACING SHALL BE INSTALLED FIRST.
  - FENCE FABRIC SHALL BE BENT BACK SLOTTED PIVOT, 12 GAUGE HIGH-TENSILE FIXED-KNOT WOVEN WIRE FENCE OR APPROVED EQUAL.
  - FENCE SHALL BE ATTACHED TO WOOD POSTS USING CLASS 3 BOND STAPLES AND ATTACHMENT LOCATIONS (SPACING) SHALL BE PER MANUFACTURERS RECOMMENDATIONS.
  - THIS DETAIL, NOT APPLICABLE FOR PIVOT FENCE OR FENCE WITH SLATS.
  - MINIMUM 1" OF HORIZONTAL SPACING SHALL BE 12" WITH 6" MAX. SPACING BETWEEN WIRES.
  - BRACE PINS SHALL BE 2" GALVANIZED PINS.

**8' WOVEN WIRE FENCING DETAIL**

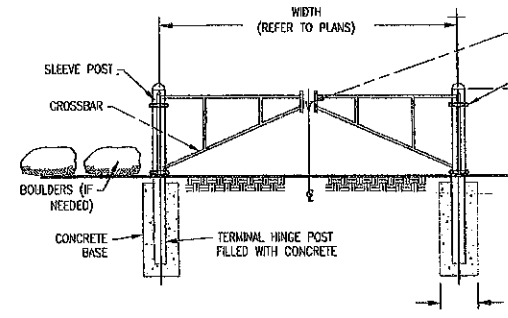
SCALE: NO SCALE



- NOTES:
- FENCING AND HARDWARE SHALL BE GALVANIZED.
  - CONCRETE ENCLOSURE AT END TWO GATE POSTS ONLY.
  - FIXED KNOT WIRE MESH SHALL BE BENT BACK SLOTTED PIVOT OR APPROVED EQUAL.
  - REFER TO MANUFACTURERS RECOMMENDATIONS FOR WOVEN WIRE MESH ATTACHMENT TO WOOD POSTS.

**8' WOVEN WIRE ACCESS GATE DETAIL**

SCALE: NO SCALE



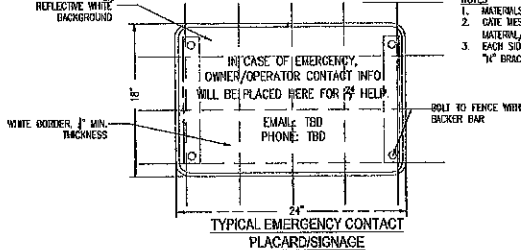
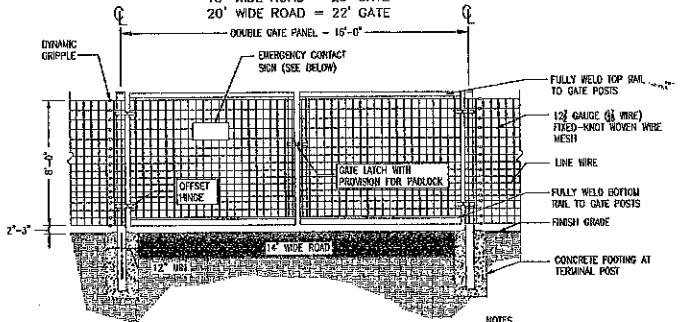
- NOTE:
- CONTRACTOR SHALL ENSURE NO VEHICULAR ACCESS (INCLUDING MOTORCYCLES, ETC.) AROUND BARRIER GATE.

**BARRIER GATE DETAIL**

SCALE: NO SCALE

**VEHICLE GATE WIDTHS**

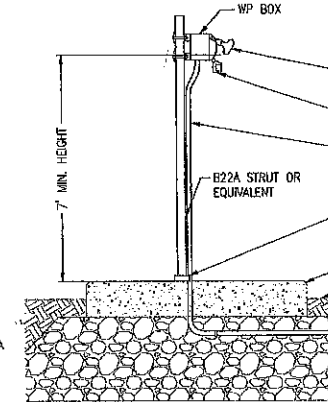
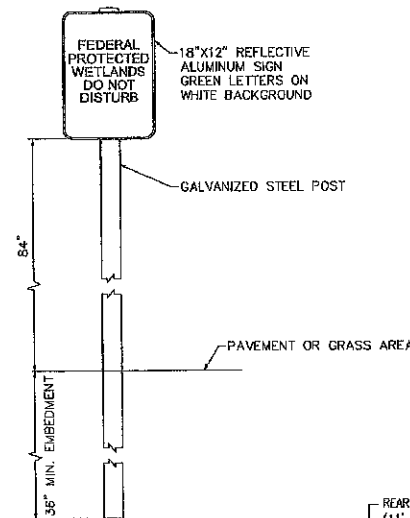
- 12' WIDE ROAD = 14' GATE
- 14' WIDE ROAD = 16' GATE
- 18' WIDE ROAD = 20' GATE
- 20' WIDE ROAD = 22' GATE



**8' WOVEN WIRE FENCE GATE & PLACARD DETAIL**

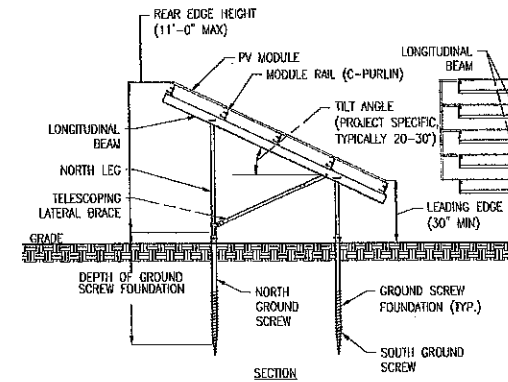
SCALE: NO SCALE

**SIGN - A**



**STAND ALONE LIG**

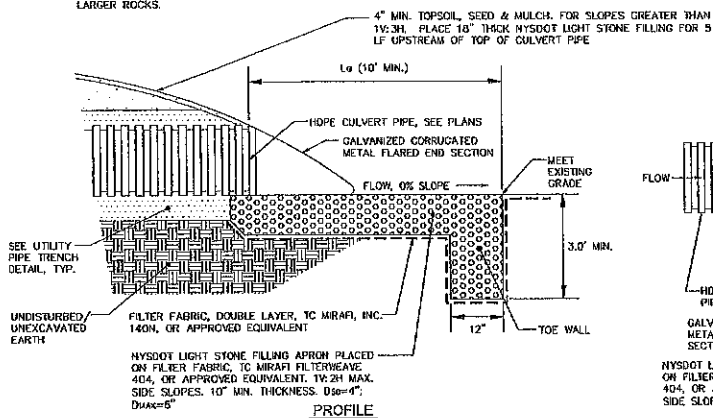
SCALE: NO SCALE



**TYPICAL RACE**

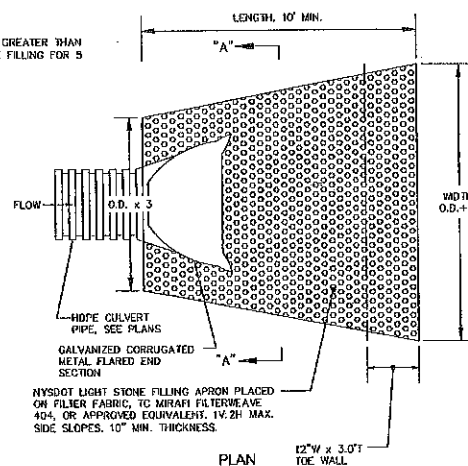
**NOTES:**

- IF THE CULVERT PIPE DISCHARGES DIRECTLY INTO A WELL DEFINED CHANNEL, THE ROCK APRON SHALL EXTEND ACROSS THE CHANNEL BOTTOM & UP THE CHANNEL BANKS TO AN ELEVATION 1 FOOT ABOVE THE CULVERT PIPE OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.
- ROCK SHALL BE PLACED IN ONE LIFT TO THE FULL THICKNESS REQUIRED & IN SUCH A MANNER TO PREVENT DAMAGE TO THE UNDERLYING FILTER FABRIC. SMALLER ROCKS SHALL BE HAND PLACED TO FILL THE VOIDS BETWEEN THE LARGER ROCKS.

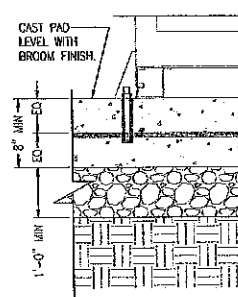


**CULVERT PIPE-ROCK OUTLET PROTECTION DETAIL**

SCALE: NO SCALE

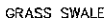


- NOTES:
- REMOVE TOP SOIL AND ORGANIC MATTER
  - GRAVEL SUB-GRADE SHALL BE WELL C WITH A HEAVY VIBRATORY COMPACTOR





## SCALE: NO SCALE



## SCALE: NO SCALE



## SCALE: NO SCALE



1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. VEHICLE TRACKING CONTROL IS REQUIRED AT CONCRETE WASHOUT AREA TO PREVENT ACCESS TO CONCRETE WASHOUT AREA IF PAVEMENT.
3. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND/OR RESEAL AS NECESSARY TO MAINTAIN CAPACITY FOR WASHOUT.
4. WASTE MATERIAL FROM CONCRETE WASHOUT OPERATIONS MUST BE REMOVED AND LEGALLY DISPOSED OF IMMEDIATELY WHEN LESS THAN TWO-THIRDS OF THE WET STORAGE CAPACITY OF THE STRUCTURE.
5. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF AT AN APPROVED WASTE SITE.
6. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE REPAIRED AND/OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE TOWN.

## SCALE: NO SCALE

- #### GENERAL EROSION AND SEDIMENT CONTROLS

- [illegible]

## PHASE I

- [illegible]

## PRO

- shall be removed when it reaches 85% of the design volume capacity of the basin in order to maintain sediment settling potential, and minimize the possibility of sediment washout during high flow events. The contractor shall install a sediment control structure consisting of a perforated pipe with 1/2" mesh screen, which allows for further reduction of sediment from 90% discharge. Traps will include a ramp and sump.
- d. Stabilization measures shall be initiated as soon as practicable on portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the cessation of construction activities. The contractor shall be responsible for permanently ceasing the contractor must respect temporarily stabilized areas to assess the effectiveness of temporary stabilization strips and replacement strips as necessary. The following temporary stabilization strips are typically used on construction sites and may be used by the contractor for this project: erosion control blankets, silt, rock, roughening mats,

## PHASE B

- CONCRETE EQUIPMENT AND EXCAVATION AND PREHEATING OR SCHEDING INSTALLATION FOR THE SOAK ROAD MOUNTING. REMOVAL ALLOY OF THE WAPIS INSTALLED TO DATE WILL CONTINUE TO BE USED DURING WAPIS (WAPIS PAUSE) STABILIZATION IS ACHIEVED. IN ADDITION, THE FOLLOWING MEASURES WILL BE USED DURING PAUSE:
- TEMPERARY EXCAVATIONS TO EXPOSE TROUBLE SPOTS FROM CONSTRUCTION AREA AS A MEANS OF IDENTIFYING THE PROBLEM.
  - TEMPERARY EXCAVATIONS TO EXPOSE TROUBLE SPOTS FROM CONSTRUCTION AREA AS A MEANS OF IDENTIFYING THE PROBLEM.
  - CONTROL WAPIS WAPIS NOW. DETERMINING CONSTRUCTION ACTIVITIES ARE OKAYING. THE TEMPORARY EXCAVATIONS WILL INCLUDE BEING DONE. WAPIS. TEMPORARY EXCAVATIONS WILL BE CONDUCTED AS REQUIRED AT LOCATIONS RECOMMENDED BY THE OPERATOR.
- CONCRETE EQUIPMENT AND EXCAVATION AND PREHEATING OR SCHEDING INSTALLATION FOR THE SOAK ROAD MOUNTING. REMOVAL ALLOY OF THE WAPIS INSTALLED TO DATE WILL CONTINUE TO BE USED DURING WAPIS (WAPIS PAUSE) STABILIZATION IS ACHIEVED. IN ADDITION, THE FOLLOWING MEASURES WILL BE USED DURING PAUSE:
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  - CONTROL WAPIS WAPIS NOW. DETERMINING CONSTRUCTION ACTIVITIES ARE OKAYING. THE TEMPORARY EXCAVATIONS WILL INCLUDE BEING DONE. WAPIS. TEMPORARY EXCAVATIONS WILL BE CONDUCTED AS REQUIRED AT LOCATIONS RECOMMENDED BY THE OPERATOR.

**PHASE II**

- [illegible]

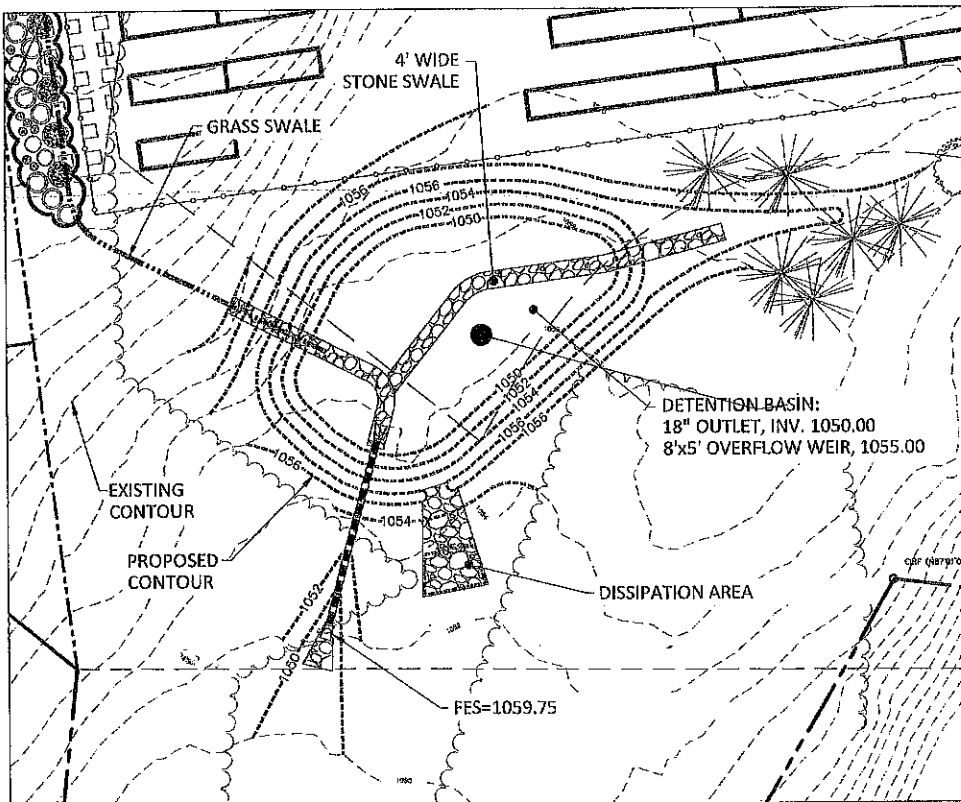


**ARICO ASSOCIATES**  
ENGINEERS  
LAND PLANNERS  
& CONSULTANTS  
1407 ROUTE 9 - Bldg 2, Suite 6  
CLIFTON PARK, NY 12065  
aricoassociates@gmail.com



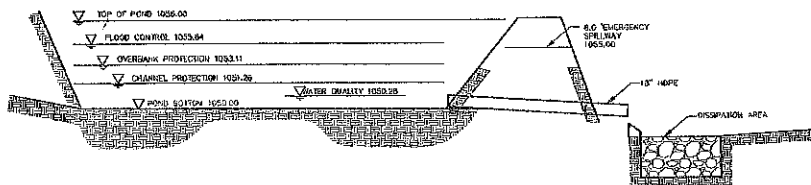
CONSTRUCTION DETAILS & NOTES  
PROPOSED PV PLANT - 909 ALEXANDER RD  
KRUGER ENERGY, LP.  
TAX MAP ID: 65 00-2-15.11  
TOWN OF DUNESBURG  
SCHENECTADY COUNTY  
NEW YORK

C201  
SHEET 5 OF 5



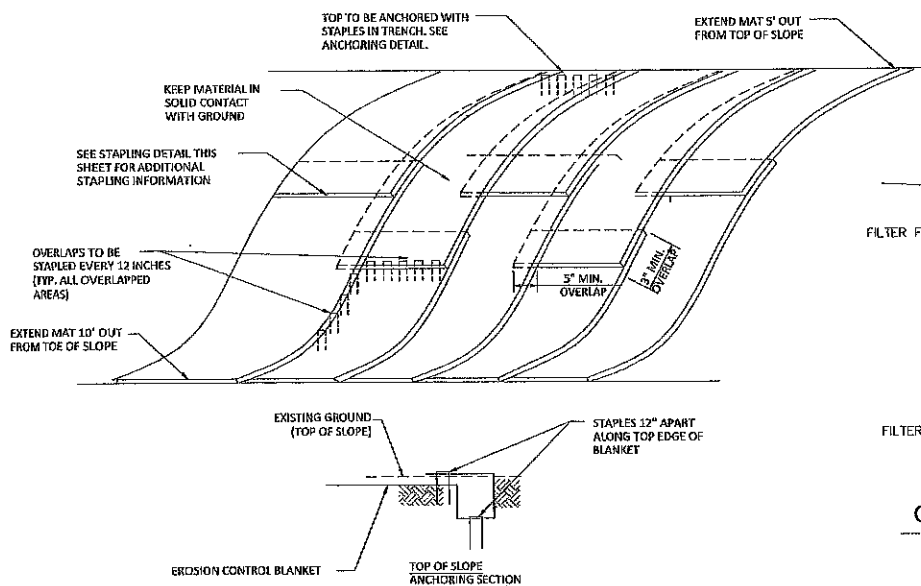
**DETENTION BASIN PLAN**

SCALE: 1"=40'



**DETENTION POND SECTION**

SCALE: NO SCALE

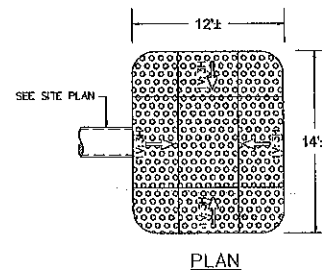


**NOTES:**

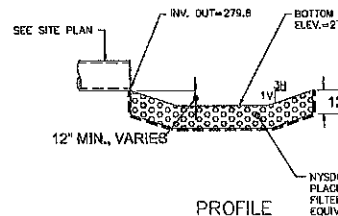
- 1) APPLY APPLICATION OF ANY LIME, FERTILIZER, AND SEED BEFORE INSTALLING TURF REINFORCEMENT MAT.
- 2) INSTALL USING ALL MANUFACTURERS INSTALLATION RECOMMENDATIONS AND GUIDELINES.
- 3) BLANKET FOR 5:1 SLOPES - S75 BY NORTH AMERICAN GREEN  
BLANKET FOR 2:1 TO 3:1 SLOPES - INDRAMAX STEEP SLOPE MATRIX - NORTH AMERICAN GREEN

**EROSION CONTROL BLANKET DETAIL**

SCALE: NONE



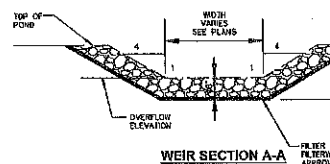
**PLAN**



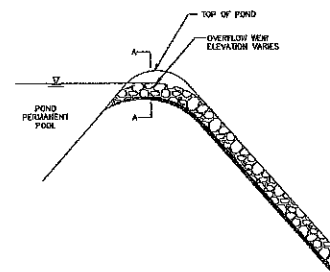
**PROFILE**

**EXPANDED SCOUR HOLE FOR DETENTION POND**

SCALE: NO SCALE

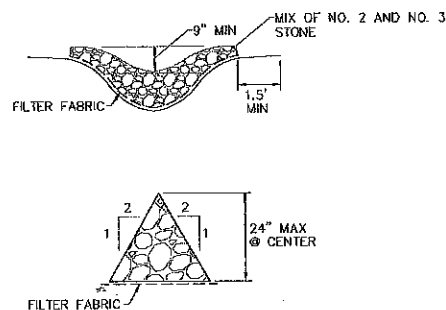


**WEIR SECTION A-A**



**OVERFLOW SPILLWAY**

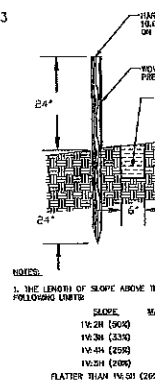
SCALE: NO SCALE



**SECTIONS**

**CHECK DAM DETAIL**

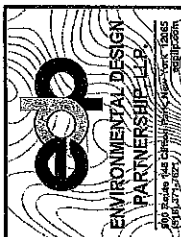
SCALE: NO SCALE



**TEMPORARY**

SCA

MAP REFERENCES:  
BOUNDARY AND TOPOGRAPHIC INFORMATION GENERATED FROM KCI OR OR ABOUT APRIL 24, 2023  
ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF LANDS OF CHARLES W. HANES 909 ALEXANDER  
ROAD VILLAGE OF DELANDON"

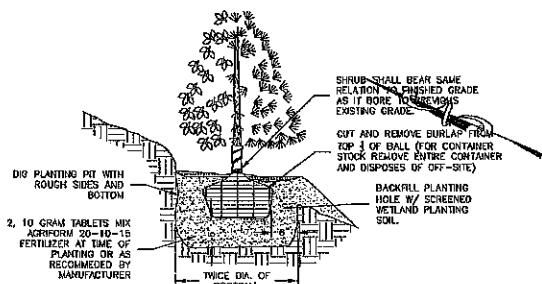
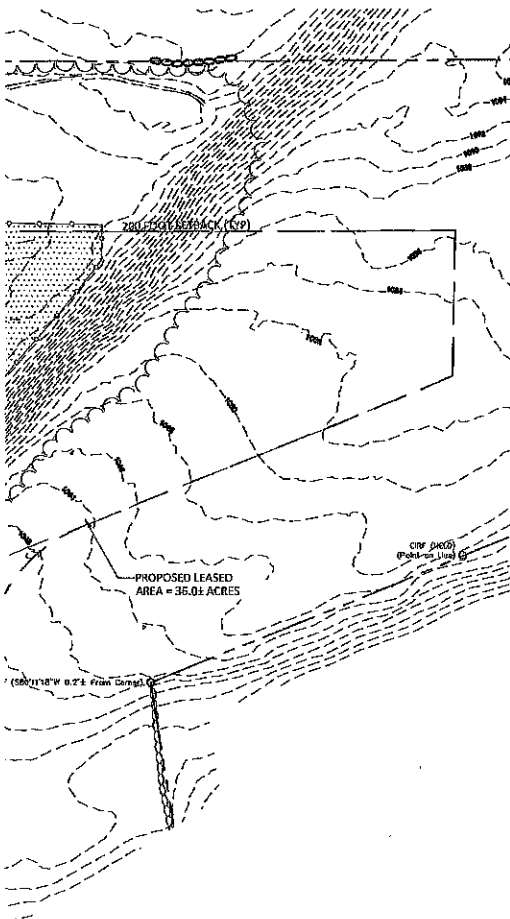


TAX MAP ID: 65.00-2-15-11  
MAY 15, 2024

PLANTING PLAN  
**PROPOSED PV PLANT**  
OWNER/APPLICANT: KRUGER ENERGY, L.P.  
909 ALEXANDER ROAD  
TOWN OF DUANESEBURG  
SCHENECTADY COUNTY, NEW YORK

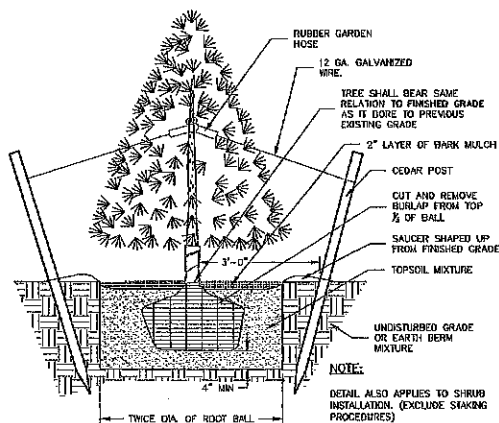
DESIGNED BY	15981
CHECKED BY	
DATE	
REVISION	
DATE	

SCALE:	1" = 100'
NOT FOR CONSTRUCTION	
SHEET TITLE:	PLANTING PLAN
SHEET:	L-100



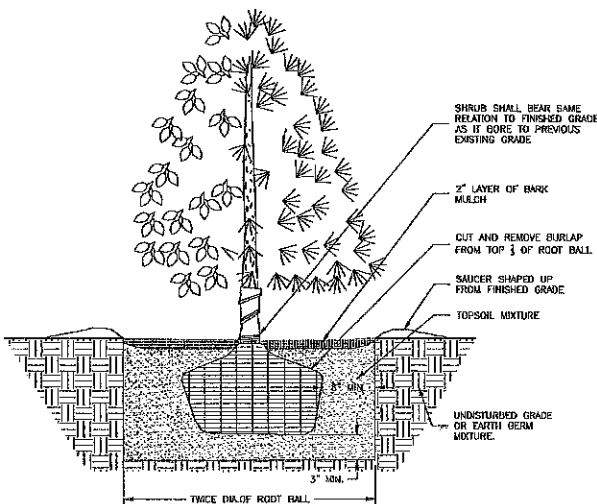
## 1 PLANTING ON A SLOPE

L-100 NOT TO SCALE



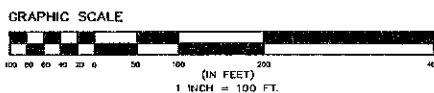
## 2 CONIFEROUS PLANTING

L-100 NOT TO SCALE



## 3 SHRUB PLANTING

L-100 NOT TO SCALE



ERNST SEEDS (ERNMX - 179)*			
QUANTITY	SPECIES	COMMON	APPLICATION RATE
25.6%	SCHIZANTHUS SCARPANUM, FORT INDIANTOWN GAP - PA ECOTYPE	LITTLE BLUESTEM, FORT INDIANTOWN GAP - PA ECOTYPE	30 LB PER ACRE
10.0%	ELIMUS VIRGINICUS, PA ECOTYPE	VIRGINIA MILKWEED, PA ECOTYPE	
9.4%	SCILLA PURPUREA	PURPLE CONEFLOWER	
6.0%	DEIBERON ALACIS	ROCKET LARKSPUR	
5.0%	CENTAUREA CYANUS, TALL MIXED	BACHELOR'S BUTTER TALL MIXED/CONEFLOWER	
4.0%	COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	
3.0%	RUBRODIA BENTA	BLACKHEADED SUSAN	
2.0%	DAUNUS BARBATUS	SHEPHERDIA	
1.0%	CHRYSANTHEMUM MARIMUM	SHASTA DAISY	
2.2%	BAPTEA AUSTRALIS, SOUTHERN WV ECOTYPE	BLUE FALS INDEGO, SOUTHERN WV ECOTYPE	
2.0%	LIATIS SPICATA	MARSH BLAZING STAR	
1.4%	HELIOPSIS HELIANTHOIDES, PA ECOTYPE	QUEEN SUNFLOWER, PA ECOTYPE	
1.2%	ASOLEPHAS TUBEROSA, PA ECOTYPE	BUTTERFLY MILKWEED, PA ECOTYPE	
1.1%	PHYLODENDRON TENUICORUM	HARSHLEAF MOUNTAINBART	
1.0%	ASOLEPHAS INDIANA, PA ECOTYPE	SWAMP MILKWEED, PA ECOTYPE	
1.0%	ERYTHRON YUCONIANUM, OH ECOTYPE	RATTLESHAKE HASTER, OH ECOTYPE	
1.0%	ESCHSCHOLIA CALIFORNICA	CALIFORNIA ORANGE POPPY	
1.0%	PAPAVR RHODEAS, RED	CORN POPPY, RED	
1.0%	RATIBIDA PAPATA, OH ECOTYPE	GREY HEADED CONEFLOWER, OH ECOTYPE	
0.8%	PERISTICH DIGITALIS, PA ECOTYPE	TALL WHITE BEARONTOQUE, PA ECOTYPE	
0.7%	COREOPSIS THICTORIA	PLAINS COREOPSIS	
0.6%	ZETA AUREA, PA ECOTYPE	GOLDEN ALEXANDERS, PA ECOTYPE	
0.5%	ERAGROSIS SPECTABILIS, WI ECOTYPE	PURPLE LOVEGRASS, WI ECOTYPE	
0.5%	MONARDA PYSILOSA, FORT INDIANTOWN GAP - PA ECOTYPE	MIL BERNARD, FORT INDIANTOWN GAP - PA ECOTYPE	
0.4%	SOLIDAGO NIGRALIS, PA ECOTYPE	GRAY GOLDENROD, PA ECOTYPE	
0.4%	TRIDESCHONIA GRACIOSA, PA ECOTYPE	ORIO SPINERIGHT, PA ECOTYPE	
0.3%	ASTER ORLONGPOLUS, PA ECOTYPE	AROMATIC ASTER, PA ECOTYPE	
0.2%	ASTER LAEVIS, NY ECOTYPE	SMOOTH BLUE ASTER, NY ECOTYPE	
0.2%	ASTER NOVE-ANGIAE, PA ECOTYPE	NEW ENGLAND ASTER, PA ECOTYPE	
0.2%	OENOTHERA FRUTICOSA VAR. FRUTICOSA	SUNFLOWER	
0.1%	ASTER MLOUS, PA ECOTYPE	HEATH ASTER, PA ECOTYPE	
0.1%	SOLIDAGO BICOLOR, PA ECOTYPE	WHITE GOLDENROD, PA ECOTYPE	
0.1%	SOLIDAGO OBOEA, PA ECOTYPE	LICORICE SCENTED GOLDENROD, PA ECOTYPE	

\*AREAS OUTSIDE OF FENCE TO BE SEEDING WITH ERNMX - 179 OR OWNER APPROVED EQUAL AT A RATE OF 30 LB PER ACRE. BETWEEN DECEMBER 1ST THROUGH APRIL 1ST, EACH TYPE OF SEED SHALL HAVE AN ADDITIONAL 1 LB PER 1,000 SF OF WHITE RYEGRASS OR GRAM RYE GRASS SEED INCLUDED









**ENVIRONMENTAL DESIGN  
PARTNERSHIP, LLP.**  
Shaping the physical environment

900 Route 146 Clifton Park, NY 12065  
(P) 518.371.7621 edpllp.com

**July 15, 2024**

**Mr. Chris Parslow**  
Town Planner  
Town of Duanesburg  
5853 Western Turnpike  
Duanesburg, NY 12056

Regarding: 9811-9815 Western Turnpike, Sketch Plan Application

**Dear Mr. Parslow:**

On behalf of Parkview at Ticonderoga, LLC, we are submitting these Updated Site Plan, Special Use Permit and Subdivision Plans for a multi-phased development for the Duanesburg Business Park Application located at 9811-9815 Western Turnpike.

Enclosed herewith are the following items related to the Sketch Plan submission:

1. Nine (9) Copies of the Site Narrative, Site Plan and Subdivision Application that includes the following:
  - A. Planning Board and Site Plan Application Copy (originally submitted 2/5/2024 along with fees)
  - B. Agricultural Data Statement Copy (originally submitted 2/5/2024)
  - C. Full Environmental Assessment Form Copy (originally submitted 2/21/2024)
  - D. Full Environmental Assessment Form Part II and III (to be submitted at a later date)
  - E. Pre-Construction Notification Copy
  - F. Wetland Delineation Map
  - G. SHPO "No Impact Letter" Copy (originally submitted on 2/5/2024)
  - H. NYNHP Endangered Species Discussion Letter Copy (Originally submitted on 2/5/2024)
  - I. Existing Conditions Map and Soils Information
  - J. Traffic Assessment Copy (Originally submitted on 2/5/2024)
  - K. Updated Rendered Site Plan dated July 9, 2024 and last revised 7/15/2024
  - L. Subdivision Plan dated July 15, 2024
  - M. Stormwater Management Feasibility Memo (To be submitted at a later date)
  - N. Water Well Site Selectin Report Copy (Originally Submitted on 2/5/2024)
  - O. Commercial Building Elevations Copy (Originally Submitted on 6/10/2024)

On behalf of the applicant, we respectfully request that the proposed project be placed on July 18, 2024 agenda for the Planning Board for Site and Subdivision Plan review. If additional information is required, please contact our office at your convenience and we await your response regarding the agenda schedule. Thank you.

Sincerely,

**D. Brien Ragone, RLA**  
LEED BD+C  
Environmental Design Partnership





## PLANNING & ZONING COORDINATION REFERRAL

Case No. D-21-24

Applicant Lawrence Jasenski

Referring Officer Coryn VanDeusen

Municipality Duanesburg

Considerations: Regarding a vacant 169 acre parcel, requesting subdivision approval to create a 42 acre parcel to construct a single family dwelling and a remaining 127 acre parcel. Located on the east side of Levey Road approximately 1/4 mile north of Mariaville Road (SR 159). Individual septic and well is proposed.

### RECOMMENDATION

Receipt of zoning referral is acknowledged on June 18, 2024. Please be advised that the undersigned Commissioner of Economic Development and Planning of the County of Schenectady (having under the Schenectady County Charter the powers and duties of a County Planning Board) has reviewed the proposed action stated on the opposite side of this form and makes the following recommendations:

☐ \*Approve of the proposal.

☐ Defer to local consideration (No significant county-wide or inter-community impact)

☒ Modify/Conditionally Approve. Conditions:

County Department of Environmental Health approval of wastewater treatment system.

☐ Advisory Note:

☐ Disapprove. Reason:

\*A recommendation of approval should not be interpreted that the County has reviewed all local concerns and/or endorses the project; rather the proposed action has met certain County considerations.

Section 239-m of the general Municipal Law requires that within 30 days after final action, the referring body shall file a report of the final action it has taken with the Schenectady County Department of Economic Development and Planning. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

6/24/24  
Date

Ray Gillen  
Commissioner  
Economic Development and Planning

# ZONING COORDINATION REFERRAL

For Use By SCDEDP

## SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING

Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

Received 6-18-24  
Case No. D-21-24  
Returned 6-25-24

FROM: ☐ Legislative Body  
☐ Zoning Board of Appeals  
☒ Planning Board

Municipality:  
Town of Duanesburg

TO: Schenectady County Department of Economic Development and Planning  
Schaffer Heights, 107 Nott Terrace, Suite 303  
Schenectady, NY 12308

(tel.) 386-2225  
(fax) 382-5539  
Received  
Schenectady County

ACTION: ☐ Zoning Code/Law Amendment  
☐ Zoning Map Amendment  
☒ Subdivision Review  
☐ Site Plan Review

☐ Special Permit  
☐ Use Variance  
☐ Area Variance  
☐ Other (specify) \_\_\_\_\_

**JUN 18 2024**

Economic Development  
and Planning Dept.

PUBLIC HEARING OR MEETING DATE: 5/16/24

SUBJECT: #24-08 Jasenski, Lawrence J., SBL#25.00-2-9.3, (R-2) 577 Levey Rd. is seeking approval of a minor subdivision of one lot 168.7 acres into 2 lots, one lot 41.7 acres remaining lot 127 acres under section 3.4 of the Town of Duanesburg Subdivision Ordinance.

REQUIRED ENCLOSURES: 1. Public hearing notice & copy of the application.  
2. Map of property affected. (Including Tax Map I.D. number if available)  
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:
  - ☐ the boundary of any city, village or town;
  - ☐ the boundary of any existing or proposed County or State park or other recreation area;
  - ☒ the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
  - ☐ the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
  - ☐ the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
  - ☐ the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

### SUBMITTED BY:

Name: Coryn VanDeusen

Title: Planning/Zoning Clerk

Address: 5853 Western Turnpike Duanesburg, NY 12056

E-mail: cvandeusen@duanesburg.net

Phone: (518) 895-2040

RECEIVED

Date: \_\_\_\_\_

Signature

**JUN 26 2024**

TOWN OF DUANESBURG  
TOWN CLERK



seasonally high water tables and evidence of saturation within 12 inches of the surface during sufficient periods during the growing season to provide for anaerobic/hydric soil conditions.

Based on the observed field conditions there are no federal jurisdictional wetlands located in the development area of the lot.

Additionally, both the NYSDEC Environmental Resource Map (Figure 3) and NWI Map (Figure 4) show no wetlands within the proposed area of development.

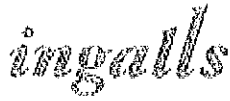
If you have any additional questions, please feel free to contact me at (518) 393-7725 ext. 113.

Sincerely,  
**Ingalls & Associates, LLP**

A handwritten signature in black ink, appearing to read "David Ingalls", written over a white background.

David Ingalls, PE, CPESC





July 5, 2024

116 West Avenue Unit 102  
Saratoga Springs, NY 12866

T 518 393 7725  
F 518 393 2324  
E info@ingallsllp.com

[www.ingallsllp.com](http://www.ingallsllp.com)

Town of Duanesburg  
Planning Board  
5853 Western Turnpike  
Duanesburg, NY 12056

Attn: Mr. Jeffery Schmitt  
Planning Board Chairman

**Re: Proposed Minor Subdivision  
577 Levey Road  
Town of Duanesburg**

Dear Chairman and Planning Board Members:

Ingalls & Associates, LLP is pleased to offer the following responses to Town Planning Board comments from the June 20, 2024, Planning Board meeting, for the proposed minor subdivision located at 577 Levey Road.

Comment 1: Please provide the location of the NYSDEC wetland located on the adjoining parcel to the south of the project parcel. Please provide the location of the 100' wetland buffer on the plan to ensure that the proposed area of development is not located in the buffer.

**Response: The location of the NYSDEC wetland and the 100' buffer are shown on the plan.**

Comment 2: Please provide the limit of the ACOE wetland area associated with the pond along the northern property line to ensure that the proposed area of development is not located within the wetland area.

**Response: The approximate limits of the ACOE wetlands are shown on the plan.**

Comment 3: The Planning Board advises that the remainder of the acreage is non-buildable unless and until detailed wetland delineation approved in writing by NYSDEC is performed. A note to that effect should be included in the final plan.

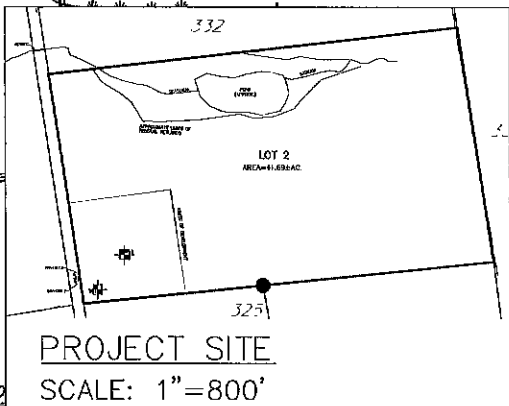
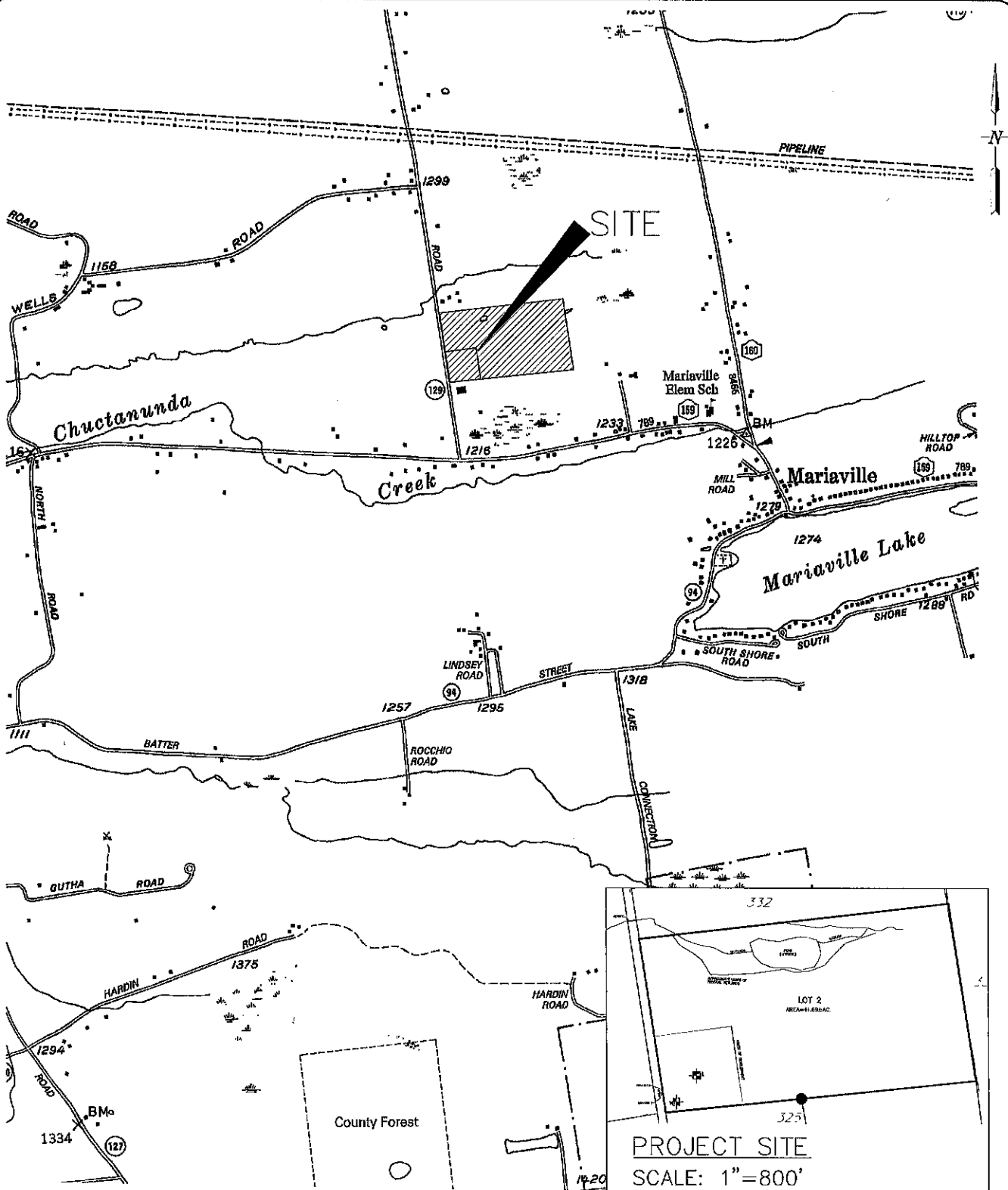
**Response 3: Note 3 on the plan has been updated to include this note.**

If you have any questions, please feel free to contact me at 518-393-7725 ext. 110.

Sincerely,  
Ingalls & Associates, LLP

Chad Pagan  
Project Engineer





UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES MADE FROM THE ORIGINAL OF THIS DRAWING BEARING AN ORIGINAL INKED OR EMBOSSED SEAL AND SIGNATURE SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

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*ingalls*

ingalls & associates, LLP  
engineering, environmental, surveying

116 WEST AVENUE UNIT 102  
SARATOGA SPRINGS, N.Y. 12866  
PHONE: (518) 393-7725  
FAX: (518) 393-2324

**SITE LOCATION**  
LANDS N/F LAWRENCE J. JASENSKI, JR  
LOT 2 LEVEY ROAD

TOWN OF DUANESBURG  
SCHENECATADY COUNTY STATE OF NEW YORK

DATE:  
05-24-24

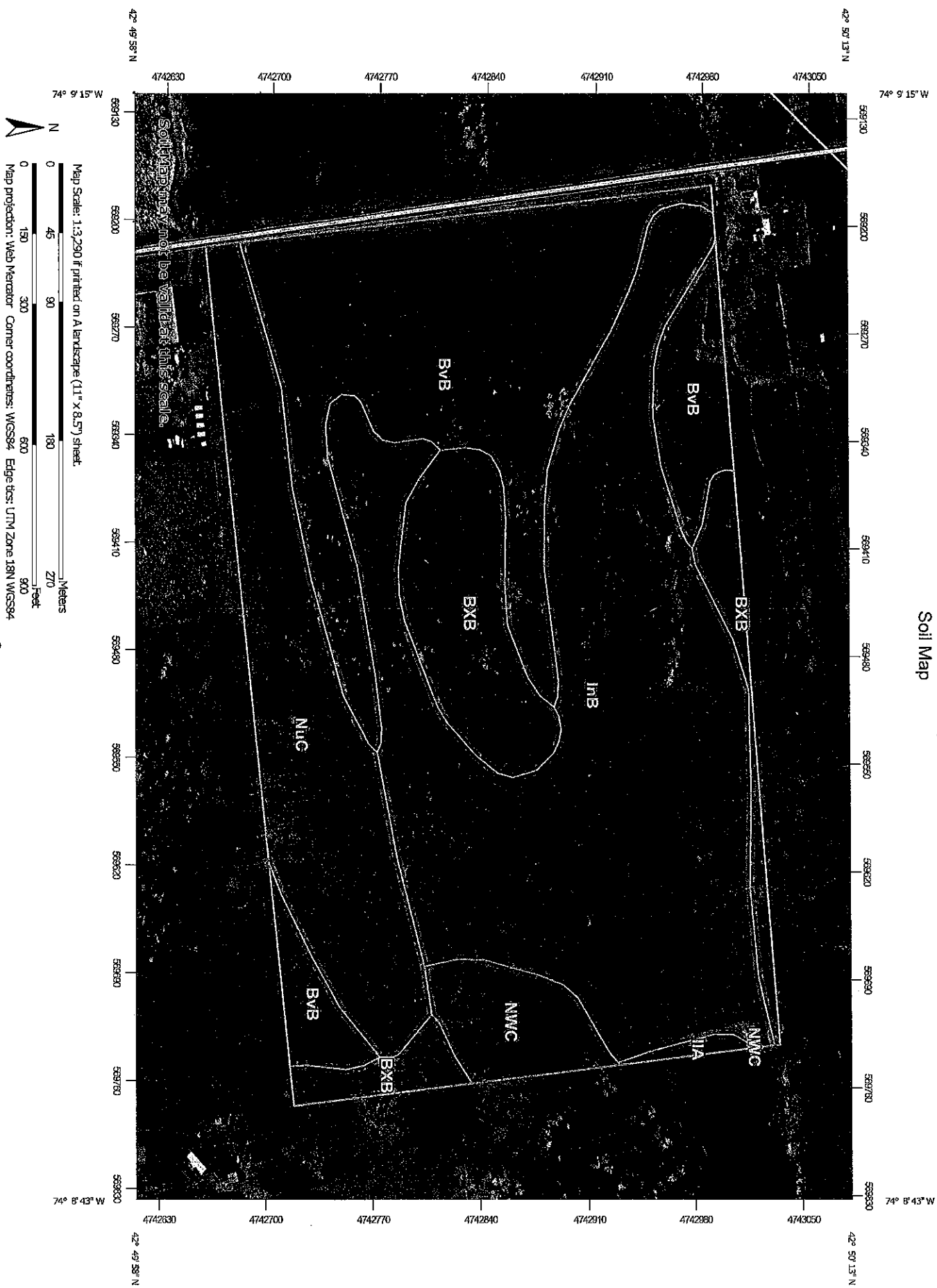
CHECKED BY: DIF  
JOB NO. 24-036

SCALE: 1"=2,000'











































DRAWN BY: CWP  
CADD FILE: 24-036 EXLot 2 Levey Rd

SHEET 1 OF 1

**FIGURE 2**  
Custom Soil Resource Report  
Soil Map



## MAP LEGEND

	Area of Interest (AOI)		Spoil Area
	Area of Interest (AOI)		Stony Spot
	Soils		Very Stony Spot
	Soil Map Unit Polygons		Wet Spot
	Soil Map Unit Lines		Other
	Soil Map Unit Points		Special Line Features
	Special Point Features		Water Features
	Blowout		Streams and Canals
	Borrow Pit		Transportation
	Clay Spot		Rails
	Closed Depression		Interstate Highways
	Gravel Pit		US Routes
	Gravelly Spot		Major Roads
	Landfill		Local Roads
	Lava Flow		Background
	Marsh or swamp		Aerial Photography
	Mine or Quarry		
	Miscellaneous Water		
	Perennial Water		
	Rock Outcrop		
	Saline Spot		
	Sandy Spot		
	Severely Eroded Spot		
	Sinkhole		
	Slide or Slip		
	Sodic Spot		

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Schenectady County, New York  
Survey Area Data: Version 22, Sep 5, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 4, 2020—Nov 7, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BvB	Burdett-Scriba channery silt loams, 3 to 8 percent slopes	12.9	28.4%
BXB	Burdett-Scriba association, extremely stony, gently sloping	5.1	11.2%
IIA	Ilion silt loam, 0 to 3 percent slopes	0.2	0.4%
InB	Ilion very stony silt loam, 0 to 8 percent slopes	18.4	40.6%
NuC	Nunda channery silt loam, 8 to 15 percent slopes	7.1	15.7%
NWC	Nunda extremely stony soils, sloping	1.7	3.7%
<b>Totals for Area of Interest</b>		<b>45.4</b>	<b>100.0%</b>

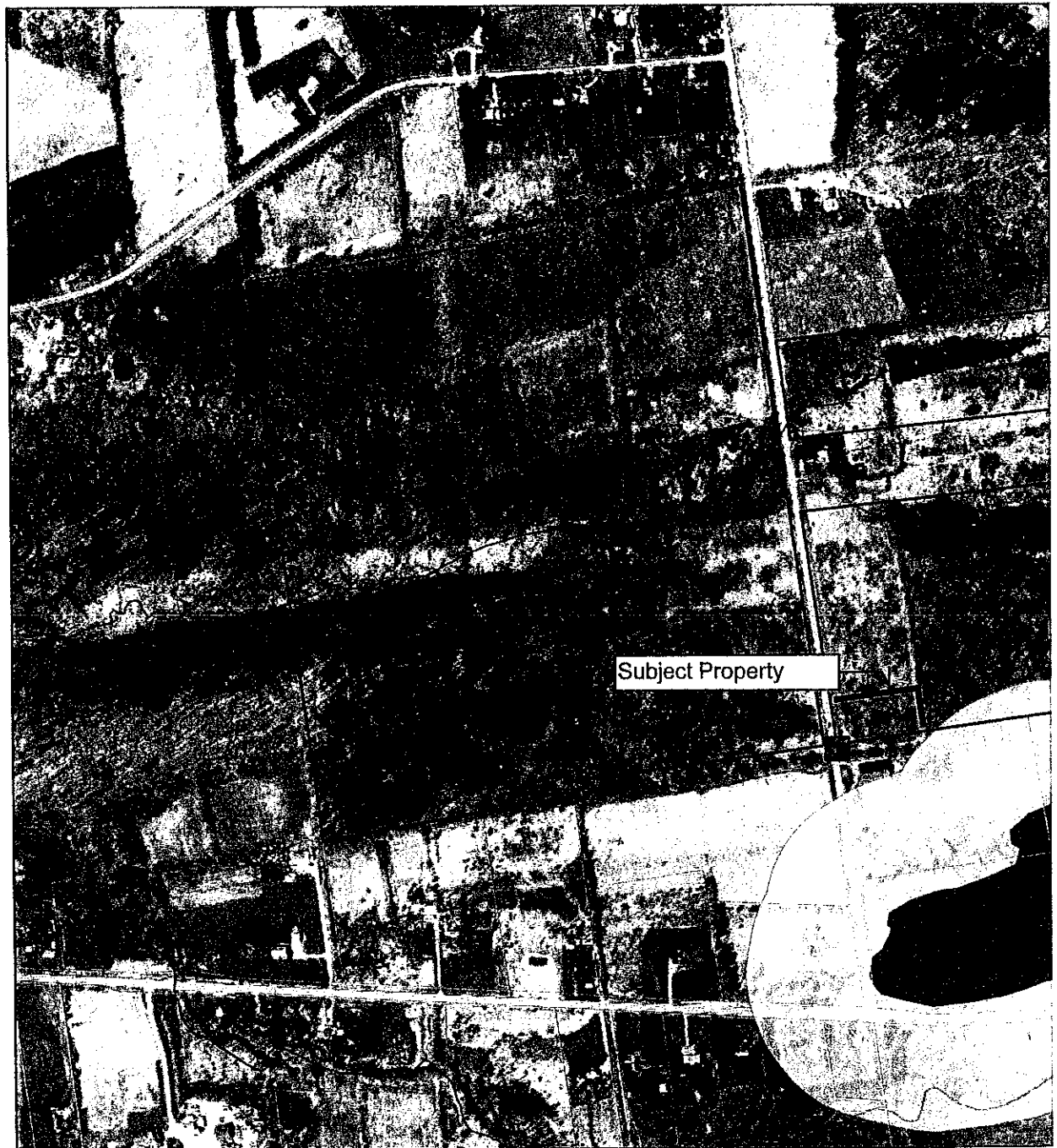
## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

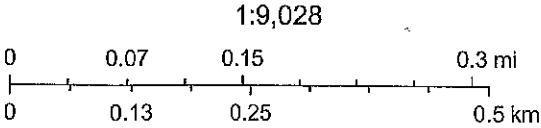
Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not

FIGURE 3-NYSDEC E  
Levey Road J



May 24, 2024

Environmental Resource Mapper  
Schenectady Subdivision



New York State, Maxar, Esri, HERE, Garmin, IPC



U.S. Fish and Wildlife Service

# National Wetlands Inventory



May 24, 2024

## Wetlands



Estuarine and Marine Deepwater



Estuarine and Marine Wetland



Freshwater Emergent Wetland

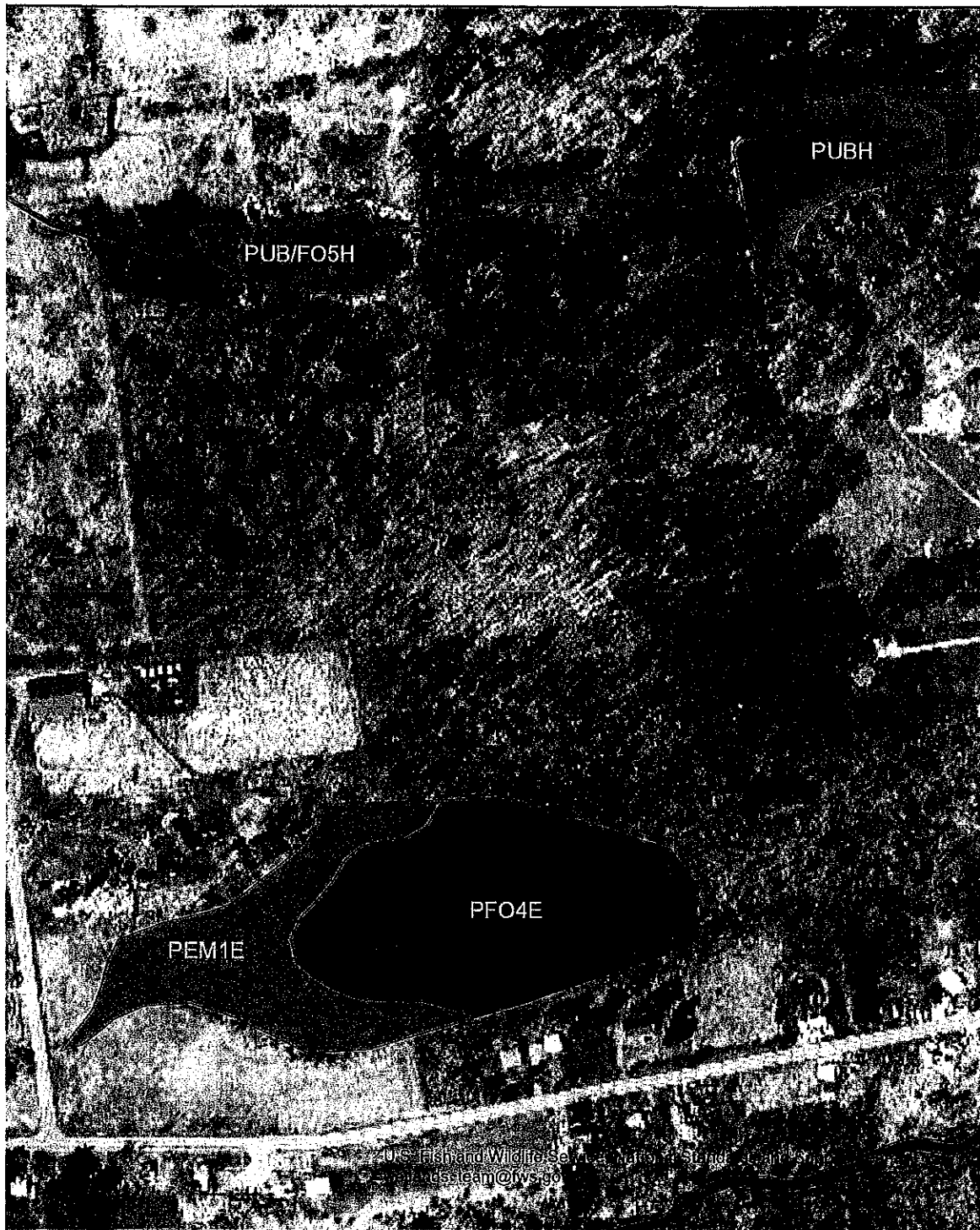


Freshwater Forested/Shrub V



Freshwater Pond

# FIGURE 4 LEVEY ROAD NWI MAP



This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



Lake

Other

Riverine





# ZONING COORDINATION REFERRAL

For Use By SCDEDP

**SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING**  
Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

Received 6-18-24  
Case No. D-19-24  
Returned 6-25-24

**FROM:** ☐ Legislative Body  
☐ Zoning Board of Appeals  
☒ Planning Board

Municipality:  
Town of Duanesburg

**TO:** Schenectady County Department of Economic Development and Planning  
Schaffer Heights, 107 Nott Terrace, Suite 303  
Schenectady, NY 12308

(tel.) 386-2225  
(fax) 382-5539  
Received  
Schenectady County

**ACTION:** ☐ Zoning Code/Law Amendment  
☐ Zoning Map Amendment  
☐ Subdivision Review  
☐ Site Plan Review  
☒ Special Permit  
☐ Use Variance  
☐ Area Variance  
☐ Other (specify) \_\_\_\_\_

**JUN 18 2024**

Economic Development  
and Planning Dept.

**PUBLIC HEARING OR MEETING DATE:** 7/18/24

**SUBJECT:** #24-10 Yunker, Frank, SBL# 35.06-5-9, (L-1) 183 Spring Rd. is seeking approval of a Special Use Permit for a two-family dwell under section 7.1.4 (1) of the Town of Duanesburg Zoning Ordinance.

**REQUIRED ENCLOSURES:**

1. Public hearing notice & copy of the application.
2. Map of property affected. (Including Tax Map I.D. number if available)
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:
  - ☐ the boundary of any city, village or town;
  - ☐ the boundary of any existing or proposed County or State park or other recreation area;
  - ☒ the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
  - ☐ the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
  - ☐ the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
  - ☐ the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

## SUBMITTED BY:

Name: Coryn VanDeusen

Title: Planning/Zoning Clerk

Address: 5853 Western Turnpike Duanesburg, NY 12056

E-mail: cvandeusen@duanesburg.net

Phone: (518) 895-2040

Date: \_\_\_\_\_

Signature

RECEIVED

**JUN 26 2024**

TOWN OF DUANESBURG  
TOWN CLERK



## PLANNING & ZONING COORDINATION REFERRAL

Case No. D-19-24

Applicant Frank Yunker

Referring Officer Coryn VanDeusen

Municipality Duanesburg

Considerations: Regarding a single family dwelling, requesting a special use permit to demolish structure and construct a two-family dwelling. Located on the north side of Spring Road approximately 400' east of Mariaville Road (SR 159). Individual well and public sewer is proposed.

### RECOMMENDATION

Receipt of zoning referral is acknowledged on June 18, 2024. Please be advised that the undersigned Commissioner of Economic Development and Planning of the County of Schenectady (having under the Schenectady County Charter the powers and duties of a County Planning Board) has reviewed the proposed action stated on the opposite side of this form and makes the following recommendations:

- ☐ \*Approve of the proposal.
- ☒ Defer to local consideration (No significant county-wide or inter-community impact)
- ☐ Modify/Conditionally Approve. Conditions:

☐ Advisory Note:

☐ Disapprove. Reason:

\*A recommendation of approval should not be interpreted that the County has reviewed all local concerns and/or endorses the project; rather the proposed action has met certain County considerations.

Section 239-m of the general Municipal Law requires that within 30 days after final action, the referring body shall file a report of the final action it has taken with the Schenectady County Department of Economic Development and Planning. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

6/24/24  
Date

Ray Gillen  
Ray Gillen, Commissioner  
Economic Development and Planning



# ZONING COORDINATION REFERRAL

**SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING**  
Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

For Use By SCDEDP

Received 6-18-24  
Case No. D-20-24  
Returned 6-25-24

**FROM:** ☐ Legislative Body  
☐ Zoning Board of Appeals  
☒ Planning Board

Municipality:  
Town of Duanesburg

**TO:** Schenectady County Department of Economic Development and Planning  
Schaffer Heights, 107 Nott Terrace, Suite 303  
Schenectady, NY 12308

(tel.) 386-2225  
(fax) 382-5539

Received  
Schenectady County

**ACTION:** ☐ Zoning Code/Law Amendment  
☐ Zoning Map Amendment  
☐ Subdivision Review  
☐ Site Plan Review

☒ Special Permit  
☐ Use Variance  
☐ Area Variance  
☐ Other (specify) \_\_\_\_\_

**JUN 18 2024**

Economic Development  
and Planning Dept.

**PUBLIC HEARING OR MEETING DATE:** 7/18/24

**SUBJECT:** #24-11 Schenectady Reserve; SBL#53.00-3-15 (C-1) located on Depot Rd. is seeking approval of a Special Use Permit under section 11.4 (10) of the Town of Duanesburg Zoning Ordinance.

**REQUIRED ENCLOSURES:**

1. Public hearing notice & copy of the application.
2. Map of property affected. (Including Tax Map I.D. number if available)
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:
  - ☐ the boundary of any city, village or town;
  - ☐ the boundary of any existing or proposed County or State park or other recreation area;
  - ☒ the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
  - ☐ the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
  - ☐ the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
  - ☐ the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

## SUBMITTED BY:

Name: Coryn VanDeusen

Title: Planning/Zoning Clerk

Address: 5853 Western Turnpike Duanesburg, NY 12056

E-mail: cvandeusen@duanesburg.net

Phone: (518) 895-2040

RECEIVED

Date: \_\_\_\_\_

Signature

**JUN 26 2024**

TOWN OF DUANESBURG  
TOWN CLERK



## PLANNING & ZONING COORDINATION REFERRAL

Case No. D-20-24

Applicant Schenectady Reserve

Referring Officer Coryn VanDeusen

Municipality Duanesburg

Considerations: Regarding a 3.8 acre vacant lot zoned Commercial, requesting a special use permit to construct a single family dwelling. Located on the northwest corner of the Western Turnpike (US Rt. 20) and Mudge Road intersection. Individual septic and well is proposed.

### RECOMMENDATION

Receipt of zoning referral is acknowledged on June 18, 2024. Please be advised that the undersigned Commissioner of Economic Development and Planning of the County of Schenectady (having under the Schenectady County Charter the powers and duties of a County Planning Board) has reviewed the proposed action stated on the opposite side of this form and makes the following recommendations:

- ☐ \*Approve of the proposal.
- ☐ Defer to local consideration (No significant county-wide or inter-community impact)
- ☒ **Modify/Conditionally Approve.** Conditions:  
County Department of Environmental Health approval of wastewater treatment system.

☐ Advisory Note:

☐ Disapprove. Reason:

\*A recommendation of approval should not be interpreted that the County has reviewed all local concerns and/or endorses the project; rather the proposed action has met certain County considerations.

Section 239-m of the general Municipal Law requires that within 30 days after final action, the referring body shall file a report of the final action it has taken with the Schenectady County Department of Economic Development and Planning. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

6/24/24  
Date

Ray Gillen  
Ray Gillen, Commissioner  
Economic Development and Planning



APPLICATION FOR THE PLANNING BOARD  
TOWN OF DUANESBURG

Revised 04/12/2017

24-13

\*\*\*\*\*FOR OFFICE USE ONLY\*\*\*\*\*

CHECKLIST OF REQUIRED INFORMATION:

- ☒ Title of drawing.
- ☒ Tax Map ID #
- ☒ Zoning district
- ☒ Current Original Deed
- ☒ NYS Survey (L.S. & P.E.)
- ☒ North Arrow, scale (1"=100')
- ☒ Boundaries of the property plotted and labeled to scale.
- ☒ School District/Fire District
- ☒ Green area/ landscaping
- ☒ Existing watercourses, wetlands, etc.
- ☒ Contour Lines (increments of 10ft.)
- ☒ Easements & Right of ways
- ☒ Abutting Properties Wells/ Sewer Systems within 100ft.
- ☒ Well/ Water system

- ☒ Septic system: Soil investigation completed?
- ☒ Sewer System: Which district?
- ☐ Basic SWPPP (1 $\geq$  & <5)
- ☐ Full Storm Water Control Plan (5acres or more)
- ☐ Storm Water Control Plan
- ☒ Short or long EAF [www.dec.ny.gov/eafmapper/](http://www.dec.ny.gov/eafmapper/)
- ☐ Street pattern: Traffic study needed?
- ☐ All property Mergers REQUIRE both owners Signatures on the Application

Additional Requirements for Special Use Application:

- ☒ New or existing building
- ☒ Business Plan, Hours of operation, & number of employees, floor plan, uses, lighting plan/ landscaping/signage
- ☒ Parking, Handicap Spaces, & lighting plan

JUL 08 2024

Date 7/5/24

Application type: ☐ Major Subdv ☐ Minor Subdv ☒ Special Use Permit ☐ Site/ Sketch Plan Review ☐ LotLine Adjust  
Proposal: Build home and needed utilities power well septic and line  
Build Barn / Shop

Section 11.7 (10) of Zoning Ordinance.

Present Owner: Andrew Mailerik (AS APPEARS ON DEED!!)  
Address: 11252 Duanesburg Rd. Delanson NY Zip code: 12053  
Phone # (required) 518-300-0391

Applicants Name (if different): \_\_\_\_\_ Phone# (required) \_\_\_\_\_

Location of Property (if different from owners) \_\_\_\_\_

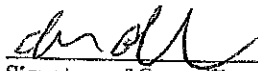
Tax Map # SPL 64.00-1-39 Zoning District C1

Signature of Owner (S) if different from Applicant (AS APPEARS ON DEED!)

LANDS CONVEYED TO (REQUIRED FOR MERGERS)

Signature of receiving Property Owner \_\_\_\_\_ (AS APPEARS ON DEED!!)

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative (s) of the Town of Duanesburg to walk the property for the purposes of conducting a site review.



Date 7/5/24

Signature of Owner(S) and/or Applicant(S)

ALL APPLICATION FEES ARE NON-REFUNDABLE!

\*\*\*\*\*

(For office use only)

Application fee paid: \_\_\_\_\_ Check# \_\_\_\_\_ Reviewed By \_\_\_\_\_ Date \_\_\_\_\_

☐ Approved ☐ Disapproved ☐ Refer to Code Enforcement Section \_\_\_\_\_ of \_\_\_\_\_ Ordinance

Planning Commission Comments: \_\_\_\_\_

\_\_\_\_\_  
Planning Chairperson

\_\_\_\_\_  
Date

\_\_\_\_\_  
Code Enforcement

\_\_\_\_\_  
Date



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JUL 08 2024

TOWN OF DUANESBURG

Application# \_\_\_\_\_

Agricultural Data Statement

Date: 7/5/2024

Instructions: This form must be completed for any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review that would occur on property within 500 feet of a farm operation located in a NYS Dept. of Ag & Markets certified Agricultural District.

Applicant	Owner if Different from Applicant
Name: <u>Andrew Mollerik</u>	Name: _____
Address: <u>11252 Duanesburg Rd</u>	_____
<u>Delanson NY</u>	_____

1. Type of Application: ☒ Special Use Permit; ☐ Site Plan Approval; ☐ Use Variance; ☐ Area Variance; ☐ Subdivision Approval (circle one or more)
2. Description of proposed project:  
Build Barn/shop approx 2000 sqft Foot Print  
Build House 3-4 bedrooms  
Build supporting utilities - well - septic - power - etc.
3. Location of project: Address: SBL 64.00 - 1 - 39 - no Address yet - north end Youngs Rd  
Tax Map Number (TMP) \_\_\_\_\_
4. Is this parcel within an Agricultural District? ☒ YES ☐ NO (Check with your local
5. If YES, Agricultural District Number 1 assessor if you do not know.)
6. Is this parcel actively farmed? ☐ YES ☒ NO
7. List all farm operations within 500 feet of your parcel. Attach additional sheet if necessary.

NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO	NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO
NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO	NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO

  
\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Owner (if other than applicant)

Reviewed by: \_\_\_\_\_

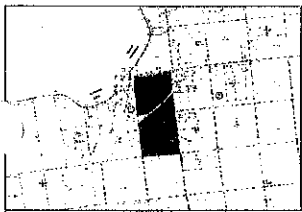
Dale R. Warner

\_\_\_\_\_  
Date

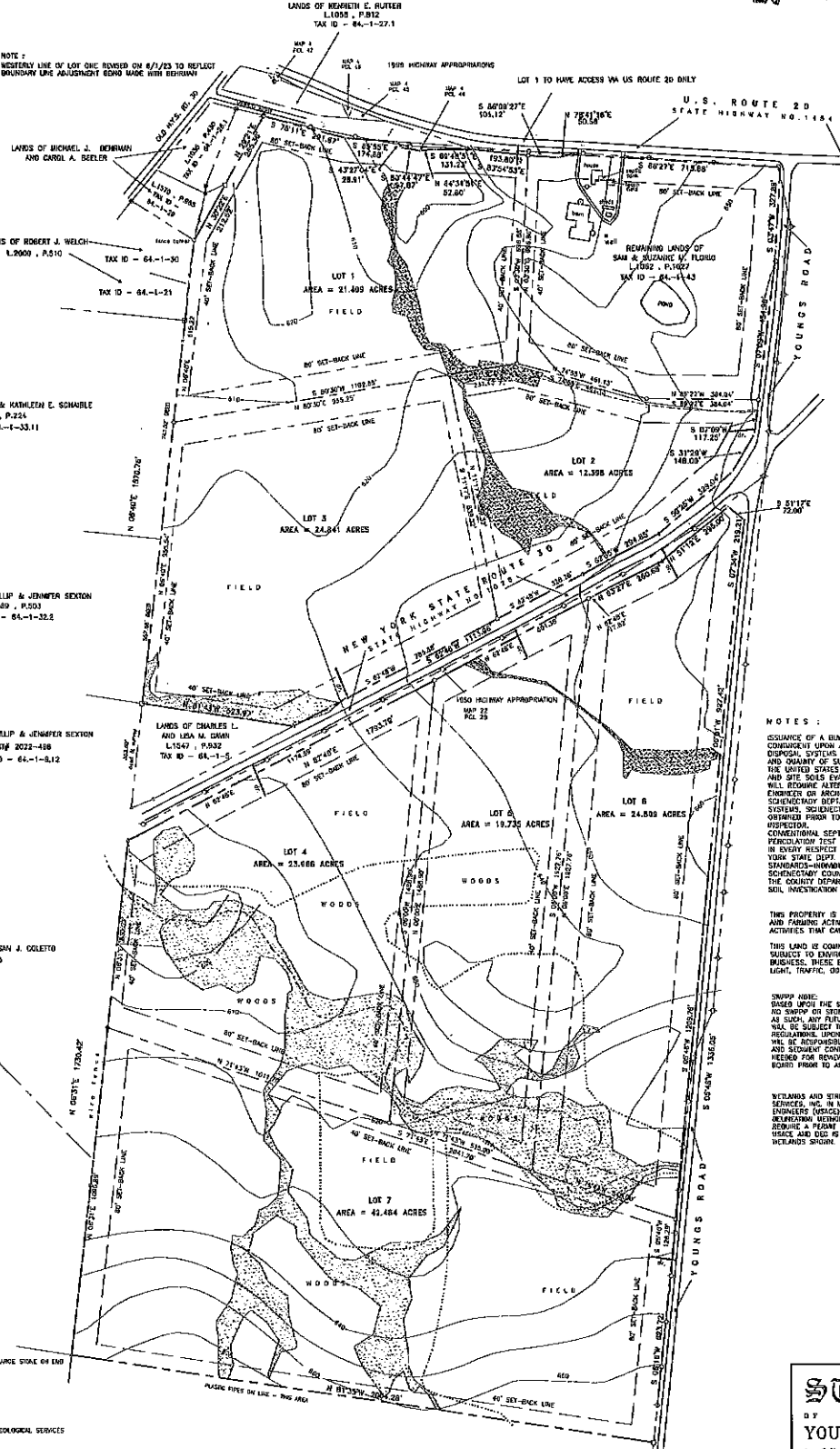
Revised 6/30/08

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

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JUL 08 2024



PROJECT LOCATION MAP - NO SCALE



NOTES:

1. ASSURANCE OF A BUILDING PERMIT FOR EACH LOT AS SHOWN WILL BE OBTAINED UPON APPROVAL BY THE BUILDING INSPECTOR OF SANITARY DISPOSAL SYSTEMS AND WATER SUPPLY WELLS FOR LOCATION, QUANTITY AND QUALITY OF SUPPLY, BASED UPON SOIL SURVEY DATA OBTAINED BY THE UNITED STATES DEPT. OF AGRICULTURE/USDA CONSERVATION SERVICE AND SITE SOIL EVALUATION. IT IS EXPECTED THAT SOME, IF NOT ALL LOTS WILL REQUIRE ALTERNATIVE SEPTIC SYSTEMS, AS DESIGNED BY A LICENSED ENGINEER OR ARCHITECT AND REVIEWED AND APPROVED BY THE SCHOENHARTY COUNTY DEPT. OF HEALTH. ON LOTS REQUIRING ALTERNATIVE SEPTIC SYSTEMS, SCHOENHARTY COUNTY HEALTH DEPT. APPROVAL SHALL BE OBTAINED PRIOR TO ISSUANCE OF A BUILDING PERMIT BY THE BUILDING INSPECTOR.

2. CONVENTIONAL SEPTIC SYSTEMS WILL BE ALLOWED ONLY WHEN AND WHERE PERCOLATION TEST RESULTS AND SOIL EVALUATIONS ARE IN CONFORMANCE WITH ANY RESPECT WITH THE STANDARDS SET FORTH IN THE CURRENT NEW YORK STATE DEPT. OF HEALTH PUBLICATION "WASTE TREATMENT STANDARDS-HIGHWAY HOMELESS SYSTEMS" AND APPROVED BY THE SCHOENHARTY COUNTY DEPT. OF HEALTH. FOR CONVENTIONAL SYSTEMS THE COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH MUST WITNESS THE SOIL INFILTRATION AND PERCOLATION TESTS.

3. THIS PROPERTY IS ADJACENT TO LANDS IN THE AGRICULTURAL DISTRICT AND FARMING ACTIVITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, ACTIVITIES THAT CAUSE NOISE, DUST AND ODORS.

4. THIS LAND IS COMMERCIAL ZONED (C-1) AND MAY ON OCCASION BE SUBJECT TO ENVIRONMENTAL CONCERNS ASSOCIATED WITH A POTENTIAL BUSINESS, RECREATION, CONSTRUCTION MAY INCLUDE NOISE, LIGHT, TRAFFIC, ODORS, ETC.

5. SWAMP MAP: BASED UPON THE SET OF THE 7 LOTS PROPOSED FOR THIS SUBDIVISION, A SWAMP OR BARRIER MAP WAS PREPARED AT THE TIME OF FILING. AS SUCH, ANY FUTURE DEVELOPMENT WITHIN ONE OF THE PROPOSED LOTS WILL BE SUBJECT TO ALL CITY AND STATE AND FEDERAL REGULATIONS. UPON REVIEW OF ANY PROPOSED DEVELOPMENT, THE APPLICANT WILL BE RESPONSIBLE FOR PROVIDING THE REQUIRED LAND PLANS, GEOTECHNICAL AND SOIL CORRELATION PLANS, SWAMP AND BARRIER MAPS, AND OTHER DATA FOR REVIEW AND APPROVAL BY THE TOWN OF BUNESBORO PLANNING BOARD PRIOR TO APPROVAL AND CONSTRUCTION.

6. WETLANDS AND STREAMS WERE DELINEATED BY NORTH COUNTRY ECOLOGICAL SERVICES, INC. IN MAY OF 2023 USING THE CURRENT U.S. ARMY CORPS OF ENGINEERS (USACE) AND USACE OF ENVIRONMENTAL CONSERVATION (EIS) WETLANDS METHODOLOGIES. ANY DISTURBANCE TO THE WETLANDS WOULD REQUIRE A PERMIT FROM THE USACE AND/OR EIS CONSULTATION WITH THE USACE AND EIS IS REQUIRED PRIOR TO ANY TYPE OF DISTURBANCE TO THE WETLANDS SHORE.

# SURVEY MAP

OF  
YOUNGS ROAD SUBDIVISION

A SURVEY FOR  
HELDERBERG REALTY LLC

U.S. ROUTE 20, N.Y.S. ROUTE 20 AND YOUNGS ROAD

TOWN OF BUNESBORO COUNTY OF SCHOENHARTY

SCALE: 1" = 200' DATE: JANUARY 2, 2023

PREPARED BY:  
WILLIAM J. SPUNKER, JR.  
LAND SURVEYOR  
LICENSE NUMBER 49554

202 WASHINGTON STREET  
SARATOGA SPRINGS, NEW YORK 12858  
518-258-9355

REMOVED: 6/26/23 - WETLANDS NOTE  
REMOVED: 6/1/23 - WESTERLY LINE OF LOT 1  
REMOVED: 2/3/23

LEGEND

- = UTILITY POLE
- = CONCRETE HIGHWAY UNDERPASS
- = CAPPED REBAR HIGHWAY MONUMENT
- = FOUND CAPPED RE-ROD
- = FOUND IRON PIPE
- = SET IRON-ROD
- = CENTER OF STREAM
- = PROPOSED DRIVEWAY
- = EDGE OF WOODS
- = WETLANDS AS PLACED - 5/11/23 BY NORTH COUNTRY ECOLOGICAL SERVICES

NOTES:

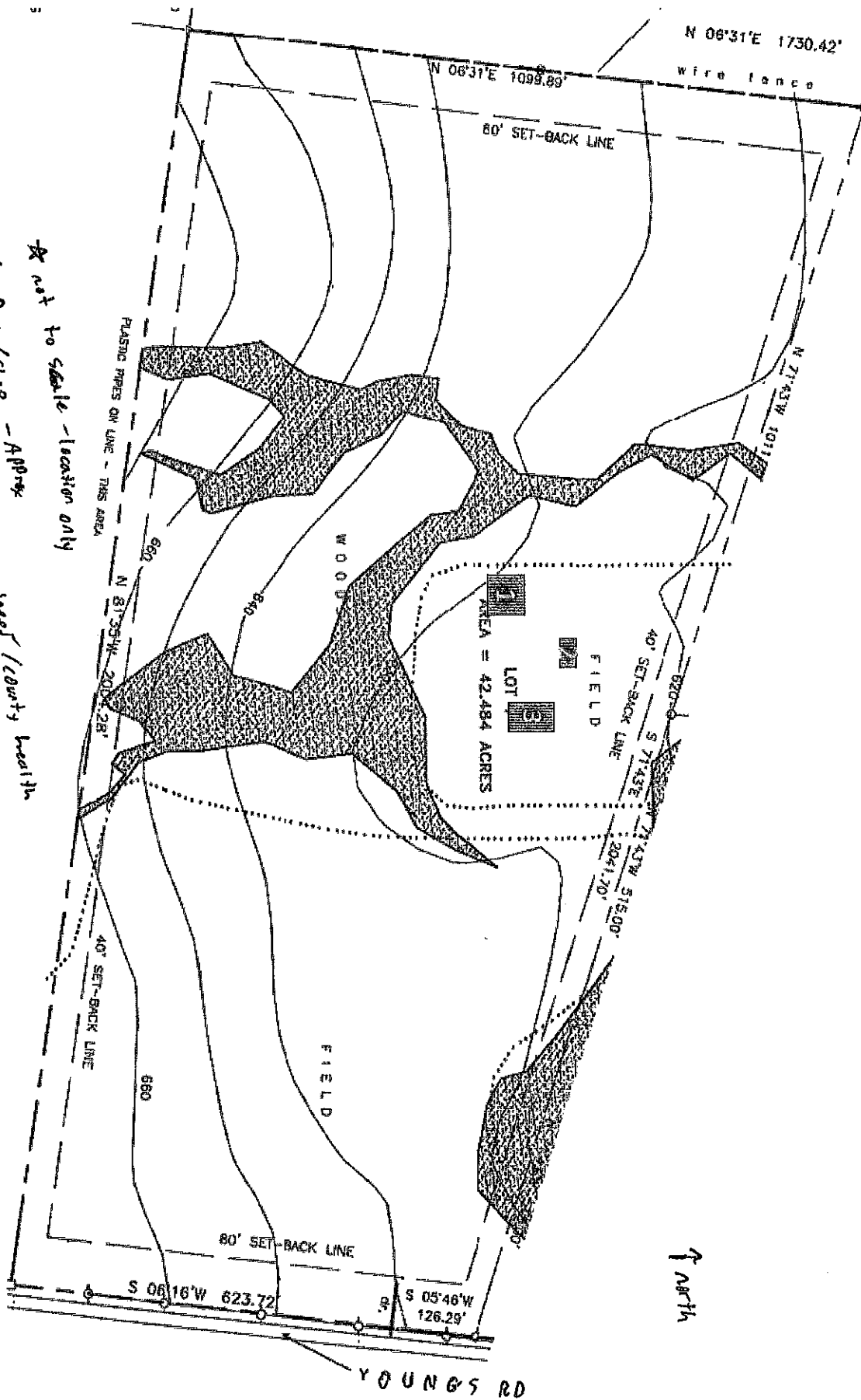
THIS SURVEY PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

IT IS A VIOLATION OF THE EMBROIDERED LAW FOR ANY PERSON, WHETHER AGING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER THIS MAP IN ANY WAY.

THIS PROPERTY IS NOT LOCATED IN THE FEMA 100 YEAR FLOOD PLAIN.

THIS PROPERTY IS LOCATED IN THE FOLLOWING DISTRICTS:  
SCHOENHARTY FIRE DISTRICT  
SCHOENHARTY SCHOOL DISTRICT  
SCHOENHARTY DISTRICT 104  
ZONING CODE C-1

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Not to scale - location only

1. Barn/shop - Approx
2. Approx septic - pending engineer's / county health
3. Approx house