

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairperson
Teresa Bakner, Board Attorney
Dale Warner, Town Planner
Melissa Deffer, Clerk



Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Michael Santulli, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

**Town of Duanesburg
Planning Board Agenda
April 21st, 2022**

Town of Duanesburg is inviting you to a scheduled Zoom meeting.

Topic: Town of Duanesburg's Planning Board Zoom Meeting

Time: This is a recurring meeting Meet anytime

Join Zoom Meeting

<https://us02web.zoom.us/j/87039078096>

Meeting ID: 870 3907 8096

Passcode: 109029

Dial in by Phone: 1-646-558-8656

Meeting ID: 870 3907 8096

Passcode: 109029

INTRODUCTION BY CHAIRPERSON JEFFERY SCHMITT:

OPEN FORUM: One presentation per individual **MAXIMUM 4 minutes** on items not on the agenda.

PUBLIC HEARINGS:

None

OLD BUSINESS:

#22-05 Catalytic Recovery Corp, SBL#67.00-3-8.1, (C-2) Located at 5469 Duanesburg Rd is seeking a seeking a Special Use Permit under section 12.4(33) of the Town of Duanesburg Zoning Ordinance

Comments: _____

#22-01 Valley Mobile Home Court, LLC: SBL#55.00-4-11.6, (C-2) located at 6204 Duanesburg Rd is seeking a Special Use Permit for 11 storage units under section 12.4(33) and a Minor Subdivision under section 3.4 of the Town of Duanesburg Zoning Ordinance.

Comments: _____

NEW BUSINESS:

None

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairperson
Teresa Bakner, Board Attorney
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Joshua Houghton, Board Member
Michael Santulli, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

SKETCH PLAN REVIEW:

#22-07 Biggs, Susan L: SBL# 74.00-3-18, (R-2) located at 13388 Duanesburg Rd is seeking a Lot Line Adjustment under Local Law #2 of 2017 of the Town of Duanesburg Subdivision Ordinance.

Comments: _____

#22-08 Brockway, Jeffery: SBL# 34.00-1-29.111, (R-2) located at 11071 Mariaville Rd is seeking a minor subdivision under section 3.4 of the Town of Duanesburg Subdivision Ordinance.

Comments: _____

Other:

#19-12 Murray/Eden Renewables/Amp/Oak Hill Solar 1 and 2 LLC

Minute Approval:

March 17th, 2022, PLANNING BOARD MEETING MINUTES:

Approved: Yes _____ No: _____

Comments: _____

ADJOURNMENT

AGENDA ITEMS MAY BE ADDED, DELETED, OR ORDER CHANGED WITHOUT NOTICE

APPLICATION FOR THE PLANNING BOARD Revised 06/02/2020 -MD
 TOWN OF DUANESBURG
 *****FOR OFFICE USE ONLY*****

CHECKLIST OF REQUIRED INFORMATION:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Title of drawing. | <input checked="" type="checkbox"/> Septic system; Soil investigation completed? |
| <input checked="" type="checkbox"/> Tax Map ID # | <input checked="" type="checkbox"/> Sewer System; Which district? |
| <input checked="" type="checkbox"/> Zoning district | <input type="checkbox"/> Basic SWPPP (1≥) |
| <input checked="" type="checkbox"/> Current Original Deed | <input type="checkbox"/> Full Storm Water Control Plan (More than an acre) |
| <input checked="" type="checkbox"/> NYS Survey (L.S. & P.E.) | <input checked="" type="checkbox"/> Other (Building Set Backs) |
| <input checked="" type="checkbox"/> North Arrow, scale (1"=100') | <input type="checkbox"/> Storm Water Control Plan |
| <input checked="" type="checkbox"/> Boundaries of the property plotted and labeled to scale. | <input checked="" type="checkbox"/> Short or long EAF www.dec.ny.gov/eafmapper/ |
| <input checked="" type="checkbox"/> School District/Fire District | <input type="checkbox"/> Street pattern; Traffic study needed? |
| <input checked="" type="checkbox"/> Green area/ landscaping | <input type="checkbox"/> All property Mergers REQUIRE both owners Signatures on the Application |
| <input checked="" type="checkbox"/> Existing watercourses, wetlands, etc. | Additional Requirements for Special Use Application: |
| <input checked="" type="checkbox"/> Contour Lines (increments of 10ft.) | <input checked="" type="checkbox"/> New or existing building |
| <input checked="" type="checkbox"/> Easements & Right of ways | <input checked="" type="checkbox"/> <u>Business Plan, Hours of operation, & number of employees,</u> |
| <input checked="" type="checkbox"/> Abutting Properties Wells/ Sewer Systems within 100ft. | <u>floor plan, uses, lighting plan/ landscaping/signage</u> |
| <input checked="" type="checkbox"/> Well/ Water system | <u>Parking, Handicap Spaces, & lighting plan</u> |

Date 04/01/2022

Application type: Major Subdy Minor Subdy Special Use Permit Site/ Sketch Plan Review LotLine Adjust

Proposal: Applicant is proposing to construct a 5,800-sf building for the purposing of storing catalytic converters that are being recycled. Initially, the applicant plans to only construct a 4,000-sf building. The remaining 1,800-sf will be constructed as an addition in the future as needed. The proposed use of the site will be catalytic converter recycling Section 12.1 of Zoning Ordinance, and storage.

Present Owner: Catalytic Recovery Corp - Michael Grandy **(AS APPEARS ON DEED!!)**
 Address: 72 Apple Tree Lane, Clifton Park, NY Zip code: 12065
 Phone # (required) 518-808-2287

Applicants Name (if different): Same as owner Phone# (required) _____
 Location of Property (if different from owners) 5469 Duanesburg Ave.
 Tax Map # 87.00-3-8.1 Zoning District C-2

Signature of Owner (S) if different from Applicant **(AS APPEARS ON DEED!!)**

LANDS CONVEYED TO (REQUIRED FOR MERGERS) N/A
 Signature of receiving Property Owner N/A **(AS APPEARS ON DEED!!)**

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative (s) of the Town of Duanesburg to walk the property for the purposes of conducting a site review.

[Signature] Date 4-1-22
 Signature of Owner(S) and/or Applicant(S)

ALL APPLICATION FEES ARE NON-REFUNDABLE!

 (For office use only)
 Application fee paid: _____ Check# _____ Reviewed By _____ Date _____

Approved Disapproved Refer to Code Enforcement Section _____ of _____ Ordinance

Planning Commission Comments: _____

 Planning Chairperson

 Date

 Code Enforcement

 Date

**Business Plan Catalytic Recovery & Recycling Corp.
5469 Duaneburg Rd Duaneburg NY 12056**

Hours of operation- 8am-6pm Monday-Friday Saturdays 9am-1pm

Number of employees- 4

Mike Grandy Jr- Owner

Joe Grandy- Buyer/Sales Manager

Shaun Hunt- Buyer/Warehouse Manager

Amanda Grandy- Human Resources/Office Manager

Equipment used- 3 pickup trucks and 1 dump trailer

Daily Traffic- 1-5 Vehicles per day/ 1-2 Shipping trucks per month

Why we chose this location- The location has quick access to all main highways. We have a good customer base in the surrounding areas which is beneficial for all parties. We believe the property presents an excellent opportunity to continue our companies growth with available land to expand on top of the current buildings. We look forward to laying down our roots in the community for the long term and being respectful of our neighbors all while growing our business and making the property aesthetically pleasing

About Us- We are a second generation recycling company that is family owned and operated. Catalytic Recovery & Recycling Corp. is a NYS certified S-corporation and the EIN # is 83-2302429. We have been in business since 2004 started by my father his partner at the time and my brother, I started with them in 2006 and took over ownership in 2016, we have worked diligently to provide excellent customer service to all companies both big and small and have earned a reputation of being honest and trustworthy.

Operations- We travel to various locations in a 100 mile radius and purchase scrap catalytic converters and other scrap from our customers(i.e. garages, tow companies, junkyards, salvage yards, scrap yards) that are either replaced or cut off junk vehicles. We unload the trucks at the end of the day and consolidate all materials by sorting it and placing it in boxes and/or putting on pallets. All unloading and sorting is done inside. We store converters until the loads are ready and they get shipped to a smelter in Texas. All other scrap currently gets brought locally to our buyer in Schenectady.

Use for the proposed building- The proposed building would be used for additional storage for my trucks, supplies(boxes/pallets/barrels) and inventory to allow. The recovery aspect of the plan is "decanning" the converters. That

process involves a guillotine shear and a downdraft system that is attached to the shear by the blade. The Shear is setup above a 55 gallon drum or "super sack" plastic bag with plastic liner in it placed on pallets. The shear blade breaks and splits the converter and the components of the inside of the converter goes into the drum or bag and the dust particles gets recovered by a down draft system aka a vacuum system. The dust gets collected and goes into 5 gallon pales for maximum recovery and then they are covered with tops when full. The barrels and/or bags will get filled covered or zip tied and stored away until the shipment is ready.

TOWN OF DUANESBURG

APPLICATION FOR SITE/ SKETCH DEVELOPMENT PLAN APPROVAL

Preliminary Date: February 24, 2022 Final Date: _____
(Check appropriate box)

Name of proposed development Catalytic Recovery Corp.

Applicant:

Name Catalytic Recovery Corp. - Michael Grandy
Address 72 Apple Tree Lane
Clifton Park, NY 12065
Telephone _____

Plans Prepared by:

Name ABD Engineers, LLP
Address 411 Union Street, Schenectady, NY 12305
Telephone 518-377-0315

Owner (if different):

Name Albert Abbatiello, Jr.
Address 5469 Duanesburg Road
Duanesburg, NY 12056
Telephone _____

(if more than one owner, provide information for each)

Ownership intentions, i.e., purchase options
Option to purchase _____

Location of site

5469 Duanesburg Road

Section 67.00 Block 3 Lot 8.1

Current zoning classification C-2 Manufacturing and Light Industrial

State and federal permits needed (list type and appropriate department)
None

Proposed use(s) of site

Storage for recovery materials from Catalytic Conversions

Total site area (square feet or acres) 1.72 acres

Anticipated construction time 6 months

Will development be phased? Yes

Over →

Current land use of site (agricultural, commercial, underdeveloped, etc.)
Existing storage building, garage and apartment

Current condition of site (buildings, brush, etc.) Building, pavement, lawn, brush

Character of surrounding lands (suburban, agricultural, wetlands, etc.) Suburban

Estimated cost of proposed improvement \$ 700,000

Anticipated increase in number of residents, shoppers, employees, etc. (as applicable)
2 employees on site

Describe proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:

- for residential buildings include number of dwelling units by size (efficiency, one-bedroom, two-bedroom, three or more bedrooms) and number of parking spaces to be provided.
- For non-residential buildings, include total floor area sales area; number of automobile and truck parking spaces,
- Other proposed structures.

(Use separate sheet if needed)

1. Existing 2 story building with garages under to be used for office on 2nd floor and garage on 1st floor.
1237 SF/floor

2. Existing 1 story garage 3,862 SF to be used for storage and recovery of materials.

3. New 4,000 SF building to be used for storage of recovered materials.

Short Environmental Assessment Form

Part 1 - Project Information

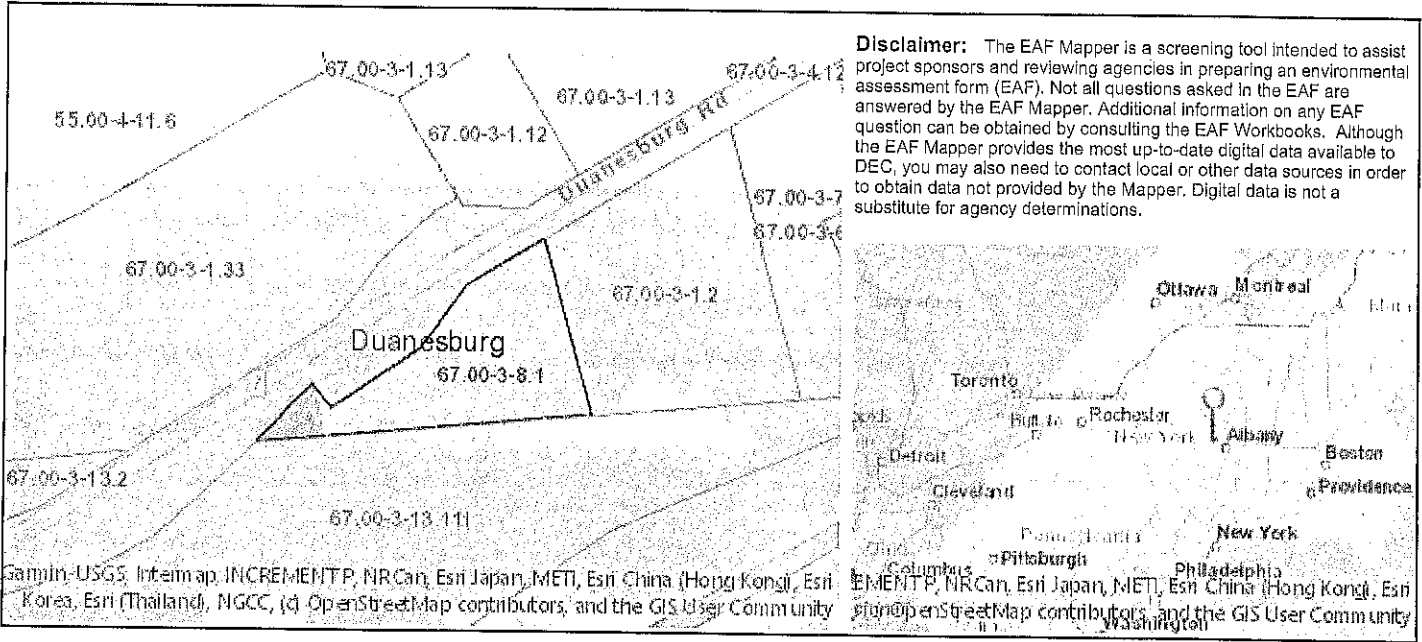
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Catalytic Recovery Corp.			
Name of Action or Project: 5469 Duaneburg Road			
Project Location (describe, and attach a location map): 5469 Duaneburg Road, Duaneburg, NY 12056			
Brief Description of Proposed Action: Construction of a 4,000 square foot (expandable to 5,000 SF) storage building for recovered materials from Catalytic Converters. Conversion of existing buildings to an office and recovery of materials.			
Name of Applicant or Sponsor: Michael Grandy - Catalytic Recovery Corp.		Telephone: 518-701-9741	
Address: 72 Apple Tree Lane		E-Mail: mgran48@icloud.com	
City/PO: Clifton Park		State: NY	Zip Code: 12065
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Schenectady County Planning Board			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.72 acres	
b. Total acreage to be physically disturbed?		0.31 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		17.2 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ Well _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Private Septic _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

TOWN OF DUANESBURG

Application# _____

Agricultural Data Statement

Date: _____

Instructions: This form must be completed for any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review that would occur on property within 500 feet of a farm operation located in a NYS Dept. of Ag & Markets certified Agricultural District.

Applicant	Owner if Different from Applicant
Name: Catalytic Recovery Corp. - Michael Grandy Address: 72 Apple Tree Lane Clifton Park, NY 12065	Name: Albert Abbatiello, Jr. 5469 Duanesburg Road Duanesburg, NY 12056

1. Type of Application: Special Use Permit; Site Plan Approval; Use Variance; Area Variance; Subdivision Approval (circle one or more)
2. Description of proposed project:
Construction of a 4,000 square foot (expandable to 5,000 SF) storage building for recovered materials from Catalytic Recovery Corp.
Conversion of existing buildings to an office and recovery of materials.
3. Location of project: Address: 5469 Duanesburg Road
Tax Map Number (TMP) 67.00-3-8.1
4. Is this parcel within an Agricultural District? YES NO (Check with your local
5. If YES, Agricultural District Number _____ assessor if you do not know.)
6. Is this parcel actively farmed? YES NO
7. List all farm operations within 500 feet of your parcel. Attach additional sheet if necessary.

NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO	NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO
NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO	NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO

Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by: _____
Dale R. Warner

Date

Revised 6/30/08

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

8-1

576

Unit 1215 0350

§ 2014 WARRANTY DEED - LIEN COVENANT (Rev. 8-70)

89 0727

© NATIONAL LEGAL SUPPLY, INC.
124 Sheridan Ave., Albany, N.Y. 12210

THIS INDENTURE, made the 23rd day of February 19 89
BETWEEN CHARLES F. PETERS, residing at 64 Blue Barns Road,
Rexford, New York 12148

RECEIVED
1989 FEB 24 10 00 52

ALBERT V. ABBATIello, JR., residing at 7240
Bellevue Drive, Schenectady, New York 12303

grantor

grantee

WITNESSETH, that the grantor, in consideration of (\$1.00)
-----ONE AND NO/100-----DOLLARS
and other good and valuable consideration

lawful money of the United States
paid by the grantee do hereby
and assigns forever,

grant and release unto the grantee his heirs

ALL THAT PIECE OR PARCEL OF LAND situate, lying and being in the Town of Duaneburg,
County of Schenectady, State of New York, bounded and described as follows:

BEGINNING at a point on the Southerly boundary of New York State Route 7 where
said boundary is intersected by the Northerly boundary of Lot #5 of the subdivision
of said Town of Duaneburg and proceeding thence the following three courses along
said lot line: South 81° 40' 35" East 316.91 feet; thence South 81° 23' 40" East
201.01 feet; thence South 82° 03' 35" East 93.00 feet to an iron pipe; proceeding thence
through land remaining of Alfred L. and Clare N. Williams North 3° 07' 35" West
289.03 feet to an iron pipe set along the Southerly boundary of New York State Route
7; proceeding thence the following two courses along the Southerly boundary of New York
State Route 7: South 71° 55' 35" West 189.96 feet; thence South 70° 57' 15" West
431.71 feet to the point of beginning containing 2.00 acres more or less.

BEING the same premises conveyed by Warranty Deed from ALFRED L. WILLIAMS and
CLARE N. WILLIAMS, his wife, to CHARLES F. PETERS dated June 15, 1974 and recorded
in the Schenectady County Clerk's Office on June 25, 1974 in Book 979 of Deeds at
Page 1118.

SUBJECT to the provisions of the zoning ordinance, rules and regulations of
the Town of Duaneburg and all enforceable covenants, conditions, restrictions and/or
easements of record, if any, affecting same.

EXCEPTING AND RESERVING THEREFROM all that property appropriated by the People
of the State of New York for Interstate Route 508 and described in Map No. 149, Parcel
No. 168 filed in the Schenectady County Clerk's Office and by Appropriation of Property
dated November 22, 1977 and recorded April 24, 1978 in Book 1016 of Deeds at Page 344.

R & R: TOPPETA & TOPPETA, 1570 State Street, Schenectady, New York 12304

RECEIVED
\$ 378.00
REAL ESTATE
FEB 24 1989
TRANSFER TAX
SCHENECTADY
COUNTY

2630

D R.P.T.S.A.
TAX MAP IDENT.
67 BLOCK 3 LOT 8.1
MRS

TOGETHER with the appurtenances and all the estate and rights of the grantor in and to said premises.

TO HAVE AND TO HOLD the premises herein granted unto the grantee

his heirs

and assigns forever. AND the said grantor covenants as follows:

FIRST.- That the grantee shall quietly enjoy the said premises;

SECOND.- That the grantor will forever warrant the title to said premises;

This deed is subject to the trust provisions of Section 13 of the Lien Law.

IN WITNESS WHEREOF, the grantor has hereunto set his hand and seal the day and year first
above written.

Charles F. Peters
CHARLES F. PETERS L.S.

..... L.S.

STATE OF NEW YORK COUNTY OF SCHENECTADY

ss:)

On the 23rd day of February 19 89 before me came
CHARLES F. PETERS

to me known and known to me to be the individual described in, and who executed, the foregoing instrument,
and acknowledged to me that he executed the same.

SHARON L. MERICLE
Notary Public, State of New York
Qualified in Schenectady County
My Comm. expires March 30, 1990
Notary Public
Dated 2/23/89

APPLICATION FOR THE PLANNING BOARD Revised 06/02/2020 -MD
 TOWN OF DUANESBURG
 *******FOR OFFICE USE ONLY*******

CHECKLIST OF REQUIRED INFORMATION:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Title of drawing.
<input checked="" type="checkbox"/> Tax Map ID #
<input checked="" type="checkbox"/> Zoning district
<input checked="" type="checkbox"/> Current Original Deed
<input checked="" type="checkbox"/> NYS Survey (L.S. & P.E.)
<input checked="" type="checkbox"/> North Arrow, scale (1"=100'),
<input checked="" type="checkbox"/> Boundaries of the property plotted and labeled to scale.
<input checked="" type="checkbox"/> School District/Fire District
<input checked="" type="checkbox"/> Green area/ landscaping
<input checked="" type="checkbox"/> Existing watercourses, wetlands, etc.
<input checked="" type="checkbox"/> Contour Lines (increments of 10ft.)
<input checked="" type="checkbox"/> Easements & Right of ways
<input checked="" type="checkbox"/> Abutting Properties Wells/ Sewer Systems within 100ft.
<input checked="" type="checkbox"/> Well/ Water system | <input checked="" type="checkbox"/> Septic system: Soil investigation completed?
<input checked="" type="checkbox"/> Sewer System: Which district?
<input type="checkbox"/> Basic SWPPP (1≥)
<input type="checkbox"/> Full Storm Water Control Plan (More than an acre)
<input checked="" type="checkbox"/> Other (Building Set Backs)
<input type="checkbox"/> Storm Water Control Plan
<input checked="" type="checkbox"/> Short or long EAF www.dec.ny.gov/eafmapper/
<input type="checkbox"/> Street pattern: Traffic study needed?
<input type="checkbox"/> All property Mergers REQUIRE both owners Signatures on the Application
<u>Additional Requirements for Special Use Application:</u>
<input checked="" type="checkbox"/> New or existing building
<input checked="" type="checkbox"/> <u>Business Plan, Hours of operation, & number of employees, floor plan, uses, lighting plan/ landscaping/signage, Parking, Handicap Spaces, & lighting plan</u> |
|---|--|

Date 1/6/22
Application type: Major Subdv Minor Subdv Special Use Permit Site/ Sketch Plan Review LotLine Adjust
 Proposal: Construction of eleven (11) storage unit structures

Section _____ of _____ Ordinance.

Present Owner: Valley Mobile Home Court, LLC **(AS APPEARS ON DEED!!)**
 Address: 2711 State Route 7 Cobleskill, NY Zip code: 12043
 Phone # (required) 518-234-8614

Applicants Name (if different): Same as Above Phone# (required) Same as above
Location of Property (if different from owners) 6204 Duanesburg Road
 Tax Map # 55-4-11.6 Zoning District C-2

Signature of Owner (S) if different from Applicant **(AS APPEARS ON DEED!)**
LANDS CONVEYED TO (REQUIRED FOR MERGERS) N/A
 Signature of receiving Property Owner _____ **(AS APPEARS ON DEED!!)**

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative (s) of the Town of Duanesburg to walk the property for the purposes of conducting a site review.

 Date 1-7-22
Signature of Owner(S) and/or Applicant(S)

ALL APPLICATION FEES ARE NON-REFUNDABLE!

(For office use only)

Application fee paid: _____ Check# _____ Reviewed By _____ Date _____

Approved Disapproved Refer to Code Enforcement Section _____ of _____ Ordinance

Planning Commission Comments: _____

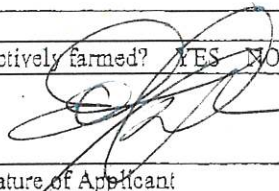
_____ _____ _____ _____
 Planning Chairperson Date Code Enforcement Date

Instructions: Per § 305-a of the New York State Agriculture and Markets Law, any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review and approval would occur on property within a New York State Certified Agricultural District containing a farm operation or property with boundaries within 500 feet of a farm operation located in an Agricultural District shall include an Agricultural Data Statement.

Applicant	Owner if Different from Applicant
Name: <u>Valley Mobile Home Court, LLC</u>	Name: _____
Address: <u>2711 State Route 7</u> <u>Cobleskill, NY 12034</u>	_____ _____

- Type of Application: Special Use Permit, Site Plan Approval, Use Variance; Area Variance; Subdivision Approval (circle one or more)
- Description of proposed project:
Construction of eleven (11) storage unit structures
- Location of project: Address: 6204 Duaneburg Road
Tax Map Number (TMP) 55-4-11.6
- Is this parcel within an Agricultural District? YES NO (Check with your local assessor if you do not know.)
- If YES, Agricultural District Number _____
- Is this parcel actively farmed? YES NO
- List all farm operations within 500 feet of your parcel. Attach additional sheet if necessary.

NAME: <u>Daniel Sells</u>	NAME: <u>Edward Putnam</u>
ADDRESS: <u>5709 Duaneburg Road</u> <u>Duanesburg, NY 12056</u>	ADDRESS: <u>242 Duane Lake Road</u> <u>Duanesburg, NY 12056</u>
Is this parcel actively farmed? YES <u>NO</u>	Is this parcel actively farmed? YES <u>NO</u>
NAME: _____	NAME: _____
ADDRESS: _____	ADDRESS: _____
Is this parcel actively farmed? YES <u>NO</u>	Is this parcel actively farmed? YES <u>NO</u>


Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by: _____

Dale R. Warner

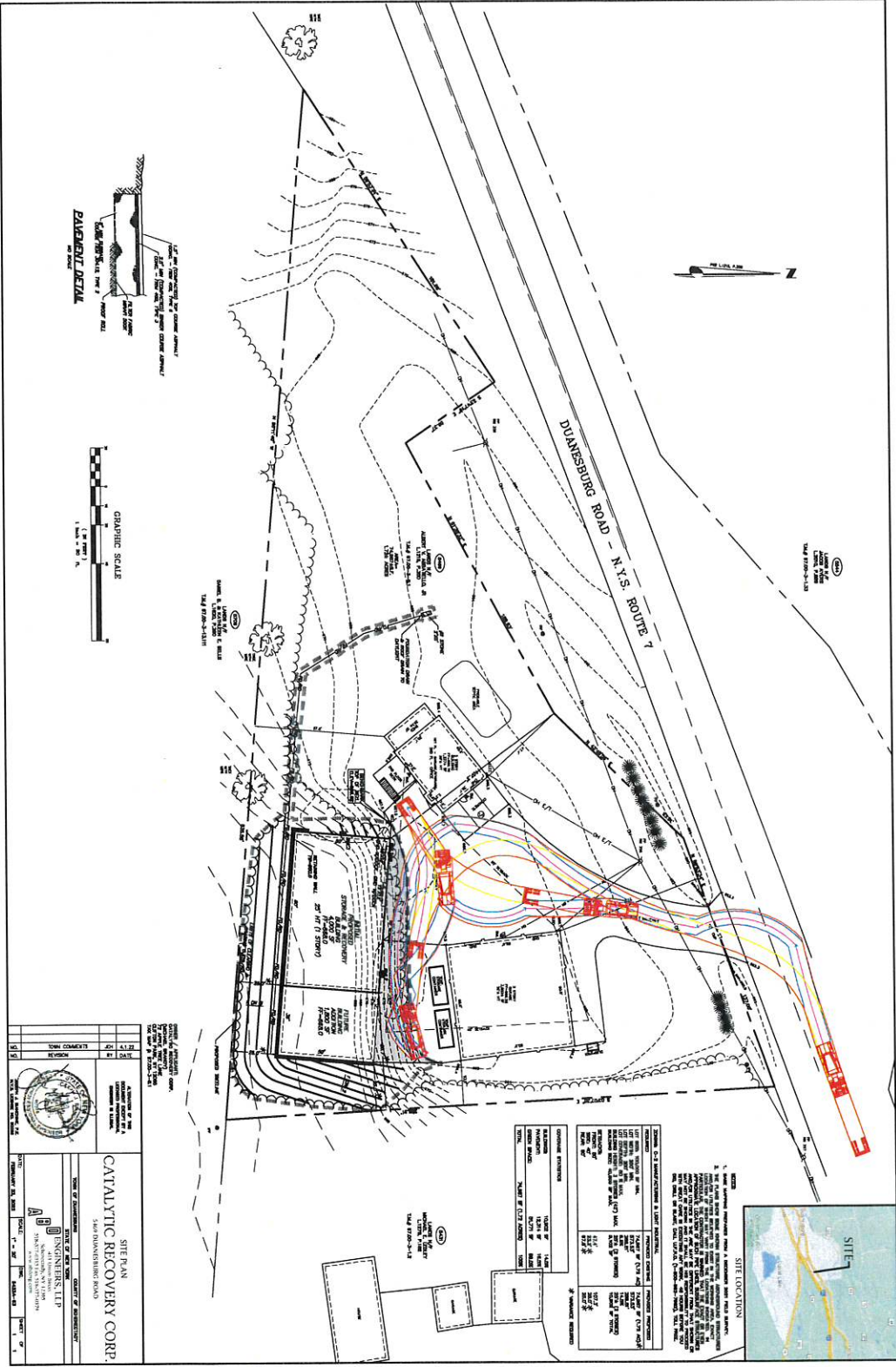
Date

Revised 4/4/17

FARM NOTE

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.



CHECKLIST OF REQUIRED INFORMATION:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Title of drawing. | <input checked="" type="checkbox"/> Septic system: Soil investigation completed? |
| <input checked="" type="checkbox"/> Tax Map ID # | <input checked="" type="checkbox"/> Sewer System: Which district? |
| <input checked="" type="checkbox"/> Zoning district | <input type="checkbox"/> Basic SWPPP (1±) |
| <input checked="" type="checkbox"/> Current Original Deed | <input type="checkbox"/> Full Storm Water Control Plan (More than an acre) |
| <input checked="" type="checkbox"/> NYS Survey (L.S. & P.E.) | <input checked="" type="checkbox"/> Other (Building Set Backs) |
| <input checked="" type="checkbox"/> North Arrow, scale (1"=100') | <input type="checkbox"/> Storm Water Control Plan |
| <input checked="" type="checkbox"/> Boundaries of the property plotted and labeled to scale. | <input checked="" type="checkbox"/> Short or long EAF www.dec.ny.gov/eafmapper/ |
| <input checked="" type="checkbox"/> School District/Fire District | <input type="checkbox"/> Street pattern: Traffic study needed? |
| <input checked="" type="checkbox"/> Green area/ landscaping | <input type="checkbox"/> All property Mergers REQUIRE both owners Signatures on the Application |
| <input checked="" type="checkbox"/> Existing watercourses, wetlands, etc. | <u>Additional Requirements for Special Use Application:</u> |
| <input checked="" type="checkbox"/> Contour Lines (increments of 10ft.) | <input checked="" type="checkbox"/> New or existing building |
| <input checked="" type="checkbox"/> Easements & Right of ways | <input checked="" type="checkbox"/> <u>Business Plan, Hours of operation, & number of employees, floor plan, uses, lighting plan/ landscaping/signage</u> |
| <input checked="" type="checkbox"/> Abutting Properties Wells/ Sewer Systems within 100ft. | <u>Parking, Handicap Spaces, & lighting plan</u> |
| <input checked="" type="checkbox"/> Well/ Water system | |

Date 2/28/22

Application type: Major Subdv Minor Subdv Special Use Permit Site/ Sketch Plan Review LotLine Adjust
 Proposal: 2-Lot minor subdivision

Section _____ of _____ Ordinance.

Present Owner: Valley Mobile Home Court, LLC (AS APPEARS ON DEED!!)
 Address: 2711 State Route 7 Cobleskill, NY Zip code: 12043
 Phone # (required) 518-234-8614

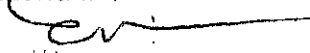
Applicants Name (if different): Same as Above Phone# (required) Same as above
 Location of Property (if different from owners) 6204 Duanesburg Road
 Tax Map # 55-4-11.6 Zoning District C-2

Signature of Owner (S) if different from Applicant (AS APPEARS ON DEED!)

LANDS CONVEYED TO (REQUIRED FOR MERGERS) N/A

Signature of receiving Property Owner _____ (AS APPEARS ON DEED!!)

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative (s) of the Town of Duanesburg to walk the property for the purposes of conducting a site review.

 Date 3/1/22
 Signature of Owner(S) and/or Applicant(S)

ALL APPLICATION FEES ARE NON-REFUNDABLE!

 (For office use only)
 Application fee paid: _____ Check# _____ Reviewed By _____ Date _____

Approved Disapproved Refer to Code Enforcement Section _____ of _____ Ordinance

Planning Commission Comments: _____

 Planning Chairperson

 Date

 Code Enforcement


 Date

Instructions: Per § 305-a of the New York State Agriculture and Markets Law, any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review and approval would occur on property within a New York State Certified Agricultural District containing a farm operation or property with boundaries within 500 feet of a farm operation located in an Agricultural District shall include an Agricultural Data Statement.

Applicant	Owner if Different from Applicant
Name: <u>Valley Mobile Home Court, LLC</u>	Name: _____
Address: <u>2711 State Route 7</u> <u>Cobleskill, NY 12034</u>	_____ _____

- Type of Application: Special Use Permit; Site Plan Approval; Use Variance; Area Variance; Subdivision Approval (circle one or more)
- Description of proposed project:
2-Lot Minor Subdivision
- Location of project; Address: 6204 Duanesburg Road
Tax Map Number (TMP) 55-4-11.6
- Is this parcel within an Agricultural District? YES NO (Check with your local assessor if you do not know.)
- If YES, Agricultural District Number _____
- Is this parcel actively farmed? YES NO
- List all farm operations within 500 feet of your parcel. Attach additional sheet if necessary.

NAME: <u>Daniel Sells</u>	NAME: <u>Edward Putnam</u>
ADDRESS: <u>5709 Duanesburg Road</u> <u>Duanesburg, NY 12056</u>	ADDRESS: <u>242 Duane Lake Road</u> <u>Duanesburg, NY 12056</u>
Is this parcel actively farmed? YES <u>NO</u>	Is this parcel actively farmed? YES <u>NO</u>
NAME: _____	NAME: _____
ADDRESS: _____	ADDRESS: _____
Is this parcel actively farmed? YES NO	Is this parcel actively farmed? YES NO


Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by: Dale R. Warner

Date

Revised 4/4/17

FARM NOTE

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NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

NOTICE OF DETERMINATION
of the Town of Duaneburg

Date of Determination Jan 10, 2022

Application of Valley Mobile Home Court, LLC under section
12.4 (33) of the (Village of Delanson/ Town of Duaneburg)
Zoning Ordinance.

Applicant Valley Mobile Home (Chris Longo) ^{Empire} Engineering
Address 2711 St Rt. 7 E
Catskill, NY 12043
Eric Dolan - owner

Phone _____ Zoning District C-2 SBL# 35.00-4-11.6

Description of (5@12,000 + 6@9,000)
Project: 11 storage units, gravel driveway, stormwater management system

Determination:
use is permitted however need subdivision as it is not an
accessory use

Reason supporting determination:
Town of Duaneburg zoning ordinance adopted 6/11/15 Section
3.5.2; section 5.2.2

Action: Refer to Planning Board for the purpose of subdivision + special use

Code Enforcement Officer: Dale Warner

#06-22

NOTICE OF DETERMINATION
of the Town of Duaneburg

Date of Determination 3/4/22

Application of Valley Mobile Home Court, LLC under section
3.4 of the (Village of Delanson/ Town of Duaneburg)
subdivision Ordinance.

Applicant Valley Mobile Home Court LLC
Address 2211 St Rt 7
Cobleskill, NY 12043

* Phone 58-234-8614 Zoning District C-2 SBL# 55.00-4-11.6

Description of
Project: Divide an existing 103.76 Acre parcel into two
portions Lot # 2 93.5 Acres Lot # 3 10.24 Acre portion
(Lot # 1 previous subdivision)
Determination: Minor subdivision

Reason supporting determination:

Town of Duaneburg Subdivision Ordinance adopted 3/9/15
Articles 12.5, 12.6, 12.7, 12.8, 12.9, 12.10, 12.11, 12.12, 12.13, 12.14, 12.15, 12.16, 12.17, 12.18, 12.19, 12.20, 12.21, 12.22, 12.23, 12.24, 12.25, 12.26, 12.27, 12.28, 12.29, 12.30, 12.31, 12.32, 12.33, 12.34, 12.35, 12.36, 12.37, 12.38, 12.39, 12.40, 12.41, 12.42, 12.43, 12.44, 12.45, 12.46, 12.47, 12.48, 12.49, 12.50, 12.51, 12.52, 12.53, 12.54, 12.55, 12.56, 12.57, 12.58, 12.59, 12.60, 12.61, 12.62, 12.63, 12.64, 12.65, 12.66, 12.67, 12.68, 12.69, 12.70, 12.71, 12.72, 12.73, 12.74, 12.75, 12.76, 12.77, 12.78, 12.79, 12.80, 12.81, 12.82, 12.83, 12.84, 12.85, 12.86, 12.87, 12.88, 12.89, 12.90, 12.91, 12.92, 12.93, 12.94, 12.95, 12.96, 12.97, 12.98, 12.99, 13.00
Zoning Ordinance adopted 6/11/15 Section 12.5, 12.6

Action: Refer to Planning for the purpose of subdivision

Code Enforcement Officer: D. DeWan

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Pine Grove Dairy - Self Storage		
Project Location (describe, and attach a general location map): 6204 Duaneburg Road, Town of Duaneburg		
Brief Description of Proposed Action (include purpose or need): The proposed action is the construction of self-storage unit structures and impervious gravel storage area with associated driveway and stormwater management system. The initial phase of the project includes the construction of ten (10) self-storage structures and 2.0 acres of outdoor storage. The total project includes approximately 18 acres of impervious with future phase developments yet to be determined. Future phases could incorporate a combination of self-storage buildings and outdoor storage. The project also includes a minor subdivision of the existing barn and single family dwelling from the proposed self-storage project.		
Name of Applicant/Sponsor: Valley Mobile Home Court, LLC		Telephone: 518-234-8614
		E-Mail: superiorhousingllc@gmail.com
Address: 2711 State Route 7		
City/PO: Cobleskill,	State: NY	Zip Code: 12043
Project Contact (if not same as sponsor; give name and title/role): Christopher Longo, PE c/o Empire Engineering, PLLC		Telephone: 518-858-4117
		E-Mail: clongo@empireeng.net
Address: 1900 Duaneburg Road		
City/PO: Duaneburg	State: NY	Zip Code: 12056
Property Owner (if not same as sponsor): Same as applicant		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Duaneburg, Planning Board - Special Use Permit	January 7, 2022
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Sch County - Referral (239m), NYSDOT - HWP OPRHP - Effect Finding	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC Div of Water, Bureau of Water -SWPPP	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): NYS Heritage Areas: Mohawk Valley Heritage Corridor	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
Manufacturing and Light Industrial (C-2)

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Duanesburg Central School District

b. What police or other public protection forces serve the project site?
New York State Police, Schenectady County Sheriff's

c. Which fire protection and emergency medical services serve the project site?
Duanesburg Vollarunteer Fire District 2

d. What parks serve the project site?
None

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial - Self Storage Units

b. a. Total acreage of the site of the proposed action? 103.8 acres
b. Total acreage to be physically disturbed? 30.7 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 103.8 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Commercial 2-Lot Subdivision

ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? 2
iv. Minimum and maximum proposed lot sizes? Minimum 11 Ac Maximum 93 Ac

e. Will the proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: _____ months
ii. If Yes:
• Total number of phases anticipated 5
• Anticipated commencement date of phase 1 (including demolition) June month 2022 year
• Anticipated completion date of final phase June month 2028 year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____
Phases are sequenced to minimize impact of construction vehicles and to allow for stormwater control to be in place prior to start of subsequent phases.

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____ 10

ii. Dimensions (in feet) of largest proposed structure: _____ 15 height; _____ 50 width; and _____ 200 length

iii. Approximate extent of building space to be heated or cooled: _____ 0 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: Stormwater Management

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: On-site runoff from parking lots and buildings

iii. If other than water, identify the type of impounded/contained liquids and their source.
N/A

iv. Approximate size of the proposed impoundment. Volume: _____ .4 million gallons; surface area: _____ .6 acres

v. Dimensions of the proposed dam or impounding structure: _____ N/A height; _____ N/A length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):
N/A

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or _____ 18 acres (impervious surface)

_____ Square feet or _____ 103.6 acres (parcel size)

ii. Describe types of new point sources. Buildings, driveways and outdoor storage

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

Stormwater will be directed to on-site stormwater management ponds.

- If to surface waters, identify receiving water bodies or wetlands: _____

- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
15kWh

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
via grid/ local utility

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	_____ 6:00 am - 6:00 pm _____	• Monday - Friday:	_____ 24 hrs _____
• Saturday:	_____ 6:30 am - 4:00 pm _____	• Saturday:	_____ 24 hrs _____
• Sunday:	_____	• Sunday:	_____ 24 hrs _____
• Holidays:	_____	• Holidays:	_____ 24 hrs _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No

Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

Wall mounted fixtures located on the sides and ends of proposed self-storage structures. Mounting height approximately 9-10' with shielded cut-offs.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No

Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ 6 tons per _____ month (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Separate recycling containers for solid waste disposal
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Hired waste hauler
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.8	19.8	+18.0
• Forested	39.6	36.7	-2.9
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	47.1	12.9	-34.2
• Agricultural (includes active orchards, field, greenhouse etc.)	15.1	5.2	-9.9
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): _____
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ > 20 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Burdett-Scriba, BvB	33.8 %
Burdett-Scriba, BvC	38.5 %
Nunda channery, NuD	18.0 %

d. What is the average depth to the water table on the project site? Average: _____ > 20 feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: 13 % of site
 Poorly Drained 87 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 51 % of site
 10-15%: 36 % of site
 15% or greater: 13 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name 863-686 Classification C
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters,... Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Principal Aquifer

m. Identify the predominant wildlife species that occupy or use the project site: _____
Cottontail Rabbit _____
Whitetailed Deer _____

n. Does the project site contain a designated significant natural community? Yes No
If Yes:
i. Describe the habitat/community (composition, function, and basis for designation): _____
ii. Source(s) of description or evaluation: _____
iii. Extent of community/habitat:
• Currently: _____ acres
• Following completion of project as proposed: _____ acres
• Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
If Yes:
i. Species and listing (endangered or threatened): _____
Northern Long-eared Bat

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
If Yes:
i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
If Yes, provide county plus district name/number: SCHE001

b. Are agricultural lands consisting of highly productive soils present? Yes No
i. If Yes: acreage(s) on project site? _____
ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
If Yes:
i. Nature of the natural landmark: Biological Community Geological Feature
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
If Yes:
i. CEA name: _____
ii. Basis for designation: _____
iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: Christman Bird & Wildlife Sanctuary, Delanson Historic District, George W. Farmhouse

iii. Brief description of attributes on which listing is based: Conservation Area, Architecture, Architecture/Engineering

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): Archaeological Sites

ii. Basis for identification: Phase 1A/1B Cultural Resource Survey

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

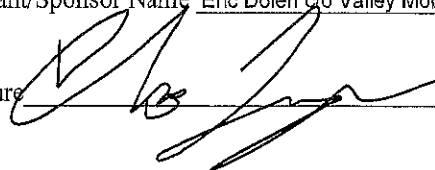
Attach any additional information which may be needed to clarify your project.

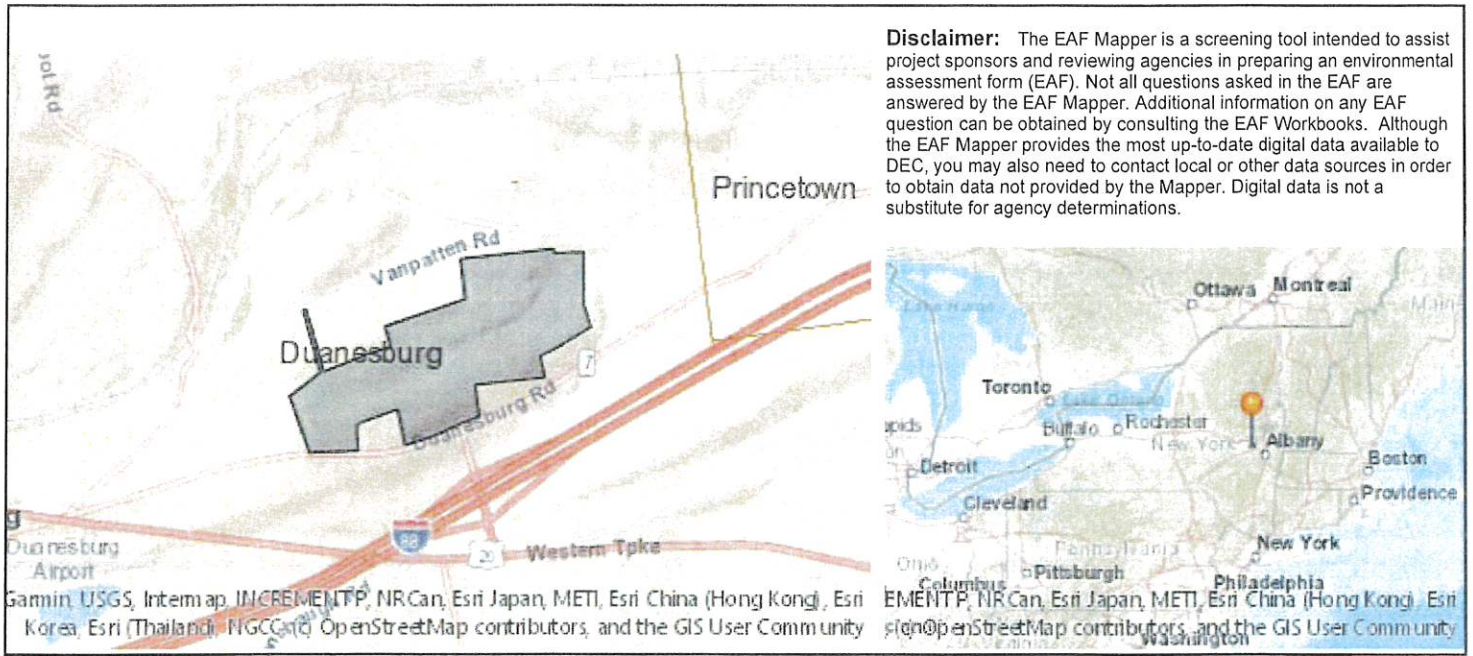
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Eric Dolen c/o Valley Mobile Home Court, LLC Date 3/3/22 Rev 3/22/2022

Signature  Christopher Longo Title Project Engineer



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: Mohawk Valley Heritage Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.ii [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Lake/Pond Name]	863-686
E.2.h.iv [Surface Water Features - Lake/Pond Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No

E.2.r. [Soil Type Occupancy]	No
E.2.i. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Northern Long-eared Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	SCHE001
E.3.c. [National Natural Landmark]	No
E.3.d. [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Valley Mobile Home Court, LLC

P.O. Box 130 Howes Cave, NY 12092

Storage Facility Business Plan

I, Eric Dolen, Managing Member of Valley Mobile Home Court, am proposing to build a storage facility to be located at 6204 Duanesburg Road Duanesburg in the Town of Duanesburg. Our intention is to create a facility similar to our current storage facility located at 2054 Western Turnpike Duanesburg NY.

Our intention is to erect 10 storage buildings. Each building is to have 24-hour / 7 days a week accessibility to all our customers. In addition, we will establish a gravel parking area for outside storage for vehicles like RVs and boats.

The area lighting will consist of wall pack unit lights with cover and mounted motion sensor secured to the building, aimed downward to ensure that area will not be over lighted.

Traffic circulation will provide a private roadway to the facility. The entrance to be located near the Valero Service Station.

Esthetically, the current landscaping consists of woods surrounding the future facility. We will be adding landscaping per our print.

The main office for our storage facility buildings is located at 2711 State Rt 7 Cobleskill, NY, and we can be reached at: (518) 296-8377. Office hours are: Monday through Friday from 8:00am until 4:30 pm. The business answering machine lists an answering service phone number in the event of an emergency for after hours.

If you have any questions in regards to this matter, please feel free to contact our office at (518) 296-8377.

Respectfully,

Eric J. Dolen
Managing Member, Valley Mobile Home Court, LLC

Phone (518) 296-8377

superiorstorage.rental@gmail.com

Fax (518) 296-8384

OFFICE OF THE SCHENECTADY COUNTY CLERK



620 STATE STREET
SCHENECTADY, NY 12305-2114
PHONE (518) 388-4220
FAX (518) 388-4224

Cara M. Ackerley
County Clerk

Instrument Number - 202162153
Recorded On 12/9/2021 At 2:44:47 PM

*RETURN DOCUMENT TO:
MURDOCK ABSTRACT CORPORATION

- * Instrument Type - DEED
- * Book/Page - DEED/2073/387
- * Total Pages - 3
- Invoice Number - 1108874 User ID: KAF
- * Document Number - 2021-5793
- * Grantor - VALLEY MOBILE HOME COURT LLC
- * Grantee - VALLEY MOBILE HOME COURT LLC

* FEES

NY LAND SUR	\$4.75
NY E & A FEES	\$116.00
NY LAND COMP SUR	\$14.25
CO GENERAL REVENUE	\$40.00
CO LAND SUR	\$0.25
CO E & A FEES	\$9.00
CO LAND COMP SUR	\$0.75
TOTAL PAID	\$185.00

TRANSFER TAX

Real Estate Transfer Tax Num - 1915
Transfer Tax Amount - \$ 0.00

I hereby CONFIRM that this document is
Recorded in the Schenectady County Clerk's Office
in Schenectady, New York

Cara M. Ackerley
Schenectady County Clerk

THIS IS AN ENDORSEMENT PAGE

Do Not Detach

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

* - Information denoted by an asterisk may change during the verification process and may not be reflected on this page.

INSTRUMENT NUMBER - 202162153



WARRANTY DEED

THIS INDENTURE

Made the 15 day of November, 2021

Between **VALLEY MOBILE HOME COURT, L.L.C., a limited liability company with an office at 2711 State Route 7, Cobleskill, New York 12043**, party of the first part, and

VALLEY MOBILE HOME COURT, L.L.C., a limited liability company with an office at 2711 State Route 7, Cobleskill, New York 12043, party of the second part,

WITNESSETH that the party of the first part, in consideration of -----ONE----- DOLLAR (\$1.00) lawful money of the United States, and other good and valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part it's heirs and assigns forever, all

ALL THAT TRACT OR PARCEL OF LAND situate in the Town of Duanesburg, County of Schenectady and State of New York, being Lot 2 on a map entitled "Pine Grove Dairy" prepared by Gerald R. Gray, Licensed Land Surveyor, dated August 30, 2021, revised October 6, 2021, and filed in the Schenectady County Clerk's Office on October 21, 2021 as Instrument Number: 202152803.

BEING A PORTION OF THE SAME PREMISES conveyed to Valley Mobile Home Court, L.L.C. by Warranty Deed from David C. Vincent and Ann M. Vincent, dated the 6th day of May, 2021, and recorded in the Schenectady County Clerk's Office, on the 13th day of May, 2021 in Book 2058 of Deeds at Page 665, Instrument No. 202121945.

This conveyance is made with the unanimous consent of the Members of the party of the first part herein and does not constitute all, or substantially all of the assets of the said party of the first part.

This conveyance is made subject to any and all covenants, conditions, restrictions and easements of record contained in the chain of title and affecting said premises.

Together with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

To have and to hold the premises herein granted unto the party of the second part, it's heirs and assigns forever.

And said party of the first part covenants as follows:

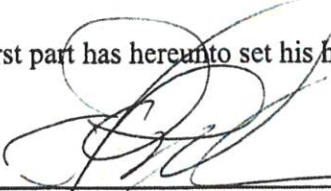
First, That the party of the second part shall quietly enjoy the said premises;

Second, That said party of the first part will forever Warrant the title to said premises.

Third, That in compliance with Section 13 of the Lien Law, the grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

In Witness Whereof, the party of the first part has hereunto set his hand and seal the day and year first above written.

In Presence of



ERIC J. DOLEN, Managing Member
VALLEY MOBILE HOME COURT, L.L.C.

ACKNOWLEDGEMENT

STATE OF NEW YORK)
COUNTY OF SCHENECTADY)ss.:

On the 16th day of November, in the year 2021 before me, the undersigned, personally appeared **ERIC J. DOLEN**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



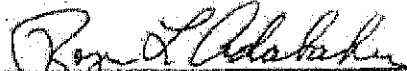
NOTARY PUBLIC

Record and Return to:

Shalini Natesan
Notary Public, State of New York
No. 02NA63139-10
Qualified in Albany County
Commission Expires 10-27-2022

IN WITNESS WHEREOF, the parties have signed their names below.

BOOK 1419 PAGE 0186



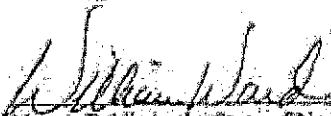
Roger L. Adabahr



Carl H. Adabahr

STATE OF NEW YORK
COUNTY OF SCHENECTADY
CITY OF SCHENECTADY

On this 31st day of ~~January~~ ^{February}, Nineteen Hundred and Ninety-Five me, the
subscriber, personally appeared Roger L. Adabahr and Carl H. Adabahr to me
personally known and known to me to be the same persons described in and who
executed the within instrument, and they duly and severally acknowledged to me
that they executed the same.



Notary Public in the State of New York;
my commission expires Aug 31, 1995



**Phase IA/IB Cultural Resources Survey
Pine Grove Dairy Development Project,
Town of Duanesburg, Schenectady County New York**

prepared for

**Empire Engineering, PLLC
1900 Duanesburg Road
Duanesburg, NY 12056**

prepared by

David Moyer and Douglas Idleman

**Birchwood Archaeological Services, Inc.
131 Marion Avenue
Gilbertsville, NY 13776
www.birchwoodarchaeology.com**

June 2021

Management Summary

Phase IA/IB Cultural Resources Survey, Pine Grove Dairy Development Project,
Town of Duanesburg, Schenectady County New York

SHPO Project Review Number:

Involved State and Federal Agencies: DEC

Phase of Survey: IA/IB

Location Information

Location: north side of NYS Route 7
Minor Civil Division: Town of Duanesburg
County: Schenectady

Survey Area (Metric & English)

Length: 1,450 ft approx (441.9 m)
Width: 1,000 ft approx (304.8 m)
Depth: >5 ft (1.5 m)
Number of Acres Surveyed: 20.25
Number of Square Meters & Feet Excavated:
Percentage of the Site Excavated:

USGS 7.5 Minute Quadrangle Map: Duanesburg

Archaeological Survey Overview

Number & Interval of Shovel Tests: 401 STPs (40 cm round) in 15 m (49.2 ft) intervals

Number & Size of Units:
Width of Plowed Strips:
Surface Survey Transect Interval:

Results of Archaeological Survey

Number & name of prehistoric sites identified: 0
Number & name of historic sites identified: 0
Number & name of sites recommended for Phase II/Avoidance: 0

Results of Architectural Survey

Number of buildings/structures/cemeteries within project area: 0
Number of buildings/structures/cemeteries adjacent to project area: 3
Number of previously determined NR listed or eligible buildings/structures/cemeteries/districts: 0
Number of identified eligible buildings/structures/cemeteries/districts: 0

Report Author(s): David Moyer and Douglas Idleman

Date of Report: June 2021

Executive Summary

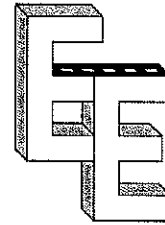
A Phase IA/IB cultural resources survey has been completed for the proposed Pine Grove Dairy Development Project, located on the north side of NYS Route 7 in the Town of Duanesburg, Schenectady County, New York (Figures 1 and 2; Photos 1-49). The current Phase IA/IB survey was conducted in advance of a currently undetermined development project. The Area of Potential Effect (APE) for this project is approximately 20.25 acres. While the design of the project has not been completed, it is assumed that the depth of the ground disturbance may exceed five feet (1.5 m) in all areas of proposed construction.

A Phase IA review indicated that the project area is moderately sensitive for prehistoric resources, due to its location near several water sources and its proximity to two previously recorded prehistoric sites. The area is also considered highly sensitive for historic resources due to its location near a historic roadway and its proximity to five previously identified historic structures, four of which are currently listed on the National Register of Historic Places.

All of the proposed APE was surveyed using the subsurface testing. A total of 401 STPs were excavated at 15 m (49.2 ft) intervals to form a grid over the entire area of proposed construction. Of these 401 STPs, four (1.0%) recovered historic or modern cultural material including fragments of porcelain bathroom tile, brick, clear bottle glass and asphalt. No precontact artifacts or features were encountered and no archaeological sites were identified as part of the subsurface testing.

Based upon the negative results of the Phase IA/IB survey, it appears that the proposed development will have no adverse impact to any historic properties in the vicinity. No additional archaeological investigations appear warranted and we, recommend that the project be allowed to proceed. These recommendations are subject to the review and concurrence of the New York State Office of Parks, Recreation, and Historic Preservation.

EMPIRE ENGINEERING, PLLC



January 6, 2022

Town of Duanesburg
Planning Board
5853 Western Turnpike
Duanesburg, NY 12056

Attn: Dale Warner, Planner

Project Narrative

The subject project identified as **Pine Grove Dairy Self-Storage** is located along **Duanesburg Road** in the Town of Duanesburg. The applicant is Valley Mobile Home Court, LLC of Cobleskill, the owner and occupant of the site. The owner's address is 2711 State Route 7, Cobleskill, NY 12043. The owner's contact is Eric Dolen, (518) 234-8614.

Project Description & Purpose

The proposed project is the construction of eleven (11) storage unit structures with associated storm water management system. The site includes approximately 14.4 Acres of buildings, driveway and gravel storage and 29.4 Acres of total disturbance. The project will also incorporate an associated driveway, power utilities and stormwater drainage area. There are (11) proposed buildings, five (5) units at 10,000 sf of gross floor area each, and six (6) units of 8,000 sf each. Units will be 1-story, approximately 12-15 ft total height. The proposed structures are intended for self-storage use and will not require any sanitary sewer or water supply fixtures. The subject property is zoned Manufacturing (C-2), and Light Industrial. The total parcel is approximately 103.76± Acres. There is an existing barn structure with attached accessory silos and a single-family dwelling on the remainder of the property outside of the proposed project site.

This business typically has 0-1 employees on-site only on occasion. Hours of operation are typically open 24 hours a day, 7 days a week to allow customers access as needed.

Neighborhood Character

The proposed project is not anticipated to have an impact on the adjoining properties any greater than the various existing uses and developments. This area of Town is interspersed with various commercial facilities located on parcels similar to this site and with similar proximity to adjoining residential uses. Access to the proposed facility will be directly off of NYS Route 7 in a highly visible location with no impact to residential neighborhoods. The owner also operates another self-storage facility within the Town of Duanesburg to the South along Route 20. This facility has been maintained well and occupancy has been essentially maxed out.

Empire Engineering, PLLC

1900 Duanesburg Road
Duanesburg, NY 12056

PH: (518) 858-4117

E: CLongo@EmpireEng.net

The new structures will not have any effect on the town communication, infrastructure or emergency systems due to its close proximity to the State Highway. This project will produce minimal noise, will be in keeping with the visual aesthetics, and will meet all Town codes regarding drainage and runoff. The proposed buildings are outside of the required side yard and front yard setback. The project is not anticipated to produce an increase in water usage, or an increase in solid waste generated at the site. There is no bulk storage of solvents or chemical proposed.

Stormwater

The project includes the commercial development involving ground disturbance of greater than one acre of land. A Full Stormwater Pollution Prevention Plan (SWPPP) which incorporates post-construction controls will be required and authorization obtained from NYSDEC for the proposed development project. The proposed stormwater design will meet all requirements outlined in the 2015 NYS Stormwater Design Manual and be in compliance with the NYS DEC General Permit 0-20-001.

There has been prior disturbance on the subject site authorized under a previously filed Notice of Intent for construction disturbance associated with a slope flattening operation. This activity incorporated Erosion and Sediment Control practices with no new permanent impervious areas.

Traffic

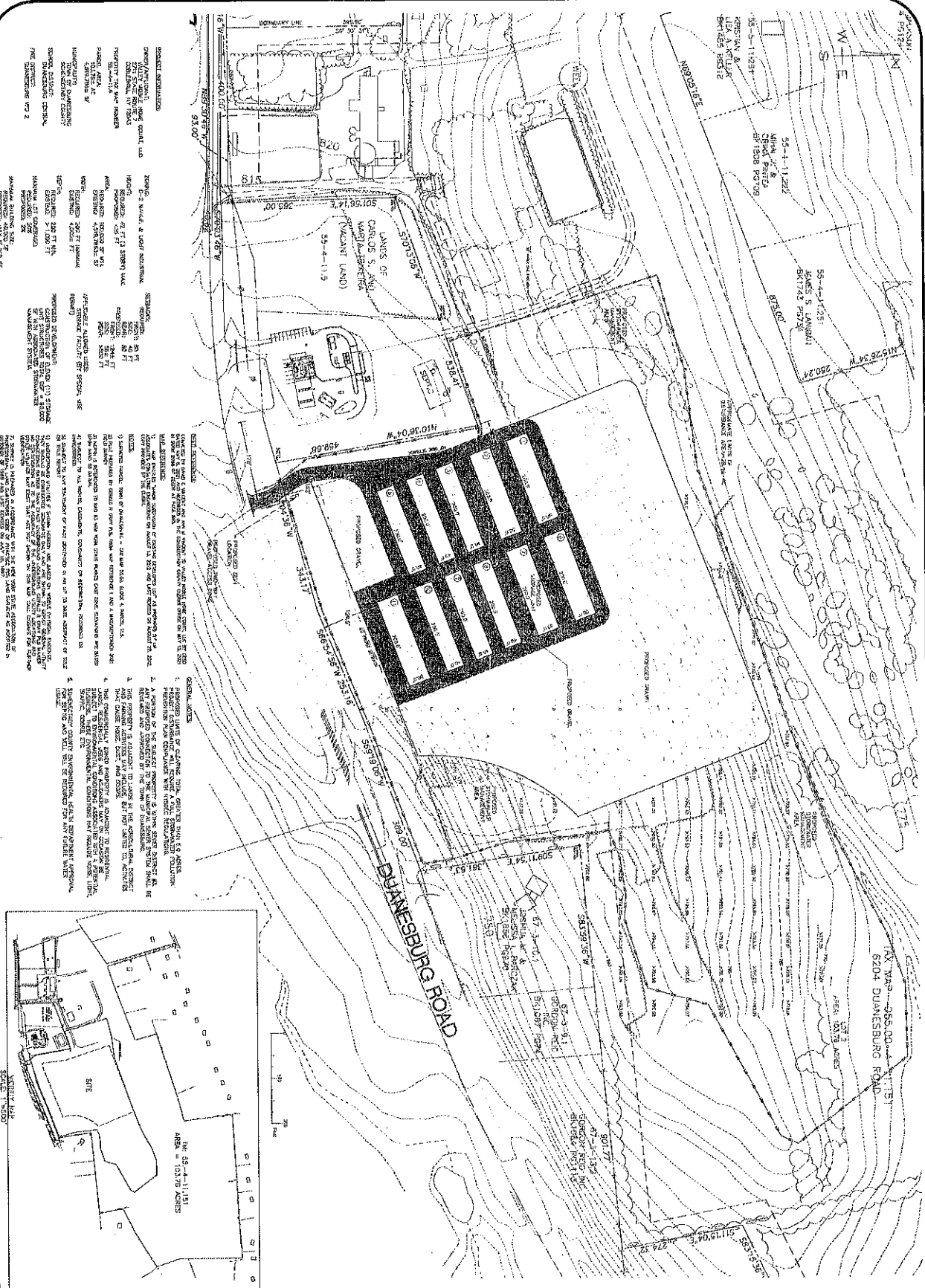
The subject use has a relatively low traffic intensity and the project is not anticipated to produce a significant increase in traffic along State Route 7. From the ITE Trip Generation Manual 10th Edition it is anticipated that the use will generate approximately 10 trips during the AM peak hour and 17 trips during the PM peak hour. The Average Annual Daily Traffic (AADT) for this section of NYS Route 7 was 4,670 in 2019. Based on the limited number of generated trips and the relative trips contributing to the existing AADT, additional traffic assessment or review is not warranted. The existing gravel driveway access for the site off of NYS Route 7 will be improved in accordance with NYSDOT standards and a permit for the improvements will be required.

Archeological

The Office of Parks, Recreation & Historic Preservation database was reviewed for potential Historic or Cultural significant data at or near the project site. The database revealed that the site is near an "archeologically sensitive bubble". The specific project area is outside of the bubble however due to the close proximity, a Phase 1A/1B Cultural Resource Survey was conducted. The study revealed no archeological significant finds within the project site. The executive summary of this report is attached to the Short Environmental Assessment Form.

Signage

A pole mounted sign is proposed to identify the facility to be located along the entrance at Route 7. The pole mounted sign will comply with Town code for setback, height, size and illumination.



PROJECT INFORMATION

OWNER/CLIENT: PINE GROVE DAIRY, LLC
 2727 STATE STREET
 CANTON, NY 13616

DESIGNER: EFC
 1000 STATE STREET
 CANTON, NY 13616

DATE: 08/20/2022

SCALE: AS SHOWN

PROJECT NO: C101

DATE: 08/20/2022

SCALE: AS SHOWN

GENERAL NOTES

1. THE SITE IS LOCATED IN A ZONING DISTRICT THAT PERMITS THE PROPOSED USE. THE ZONING DISTRICT IS SUBJECT TO THE ZONING ORDINANCES OF THE TOWN OF CANTON, NY.

2. THE PROPOSED FACILITY IS TO BE CONSTRUCTED ON A 100' WIDE EASEMENT FROM THE ADJACENT PROPERTY TO THE SOUTH.

3. THE PROPOSED FACILITY IS TO BE CONSTRUCTED ON A 100' WIDE EASEMENT FROM THE ADJACENT PROPERTY TO THE SOUTH.

4. THE PROPOSED FACILITY IS TO BE CONSTRUCTED ON A 100' WIDE EASEMENT FROM THE ADJACENT PROPERTY TO THE SOUTH.

5. THE PROPOSED FACILITY IS TO BE CONSTRUCTED ON A 100' WIDE EASEMENT FROM THE ADJACENT PROPERTY TO THE SOUTH.

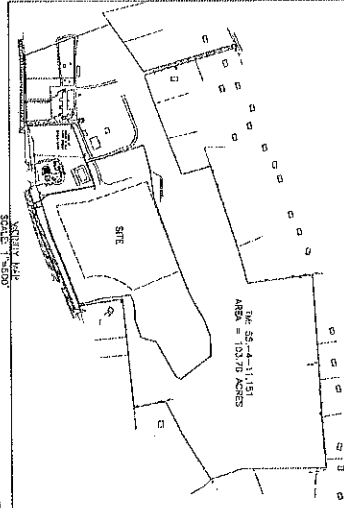
6. THE PROPOSED FACILITY IS TO BE CONSTRUCTED ON A 100' WIDE EASEMENT FROM THE ADJACENT PROPERTY TO THE SOUTH.

7. THE PROPOSED FACILITY IS TO BE CONSTRUCTED ON A 100' WIDE EASEMENT FROM THE ADJACENT PROPERTY TO THE SOUTH.

8. THE PROPOSED FACILITY IS TO BE CONSTRUCTED ON A 100' WIDE EASEMENT FROM THE ADJACENT PROPERTY TO THE SOUTH.

9. THE PROPOSED FACILITY IS TO BE CONSTRUCTED ON A 100' WIDE EASEMENT FROM THE ADJACENT PROPERTY TO THE SOUTH.

10. THE PROPOSED FACILITY IS TO BE CONSTRUCTED ON A 100' WIDE EASEMENT FROM THE ADJACENT PROPERTY TO THE SOUTH.



CONCEPT SITE PLAN

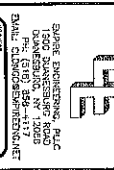
DATE: 08/20/2022

SCALE: 1" = 100'

PROJECT NO: C101

DATE: 08/20/2022

SCALE: AS SHOWN



ENGINEER: EFC
 1000 STATE STREET
 CANTON, NY 13616

DATE: 08/20/2022

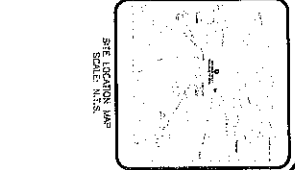
SCALE: AS SHOWN

OWNER: PINE GROVE DAIRY, LLC
 2727 STATE STREET
 CANTON, NY 13616

DATE: 08/20/2022

SCALE: AS SHOWN

No.	Revision	Description	Date





Albany Office
100 Great Oaks Boulevard | Suite 114 | Albany, New York 12203
P: 518.382.1774

March 28, 2022

Dale Warner, Town Planner
Town of Duanesburg
5853 Western Turnpike
Duanesburg, NY 12056

**Re: Town of Duanesburg
Valley Mobile Home Court, LLC Site Plan & Special Use Permit Review
Proposal for Engineering Services**

Dear Mr. Warner:

We are pleased to submit this proposal to provide professional engineering technical assistance to the Town of Duanesburg Planning Board for the Valley Mobile Home Court, LLC Project review. The applicant proposes to construct eleven (11) storage unit structures at 6204 Duanesburg Road (State Route 7) (parcel #55-4-11.6). The project would disturb about 29.4 acres out of the 103.8 acre parcel for the new construction. The project site has already been disturbed, prior to the applicant coming to the Planning Board for approvals. We propose the following scope of engineering services:

A. Base Services

1. Review of the project in accordance with the Town of Duanesburg Zoning Law and Site Plan Review Law.
2. Review the proposed Stormwater Pollution Prevention Plan (SWPPP).
3. Review of the Environmental Assessment Form.
4. Attend up to two (2) Planning Board meetings where the project will be discussed.
5. Provide review and written comment on the initial and one subsequent submission by the applicant.

B. Fee

We propose that the developer provide an initial escrow amount of **\$4,900.00** for the above work, to be billed monthly on a percentage complete basis. This amount can be provided to the applicant to set up the escrow account to cover the engineering fees. The developer should be made aware that additional funds may be required if the scope of the project is changed or increased from their initial submission.

C. Exceptions and Limitations - none

D. Additional Services

Additional projects and services will be the subject of a mutually agreed and separately executed Change Order. In the event that you request additional routine services that substantively relate to the subject of this Proposal and which in our judgement do not rise to the level of a Change Order or require a new proposal, ("Out-of-



Scope Services”), our fees for such services will be based on the time required for the work performed at our standard rates, plus expenses. All such services will be subject to the terms of this Proposal, including PRIME AE’s Standard Terms and Conditions, attached hereto.

E. Parties’ Understandings Concerning Situation Around COVID-19

PRIME AE and Client acknowledge that, at the time of the execution of this Statement of Work, federal, state and local governments, both domestic and foreign, have restricted travel and/or the movement of its citizens due to the ongoing and evolving situation around COVID-19. In addition, like many organizations and companies in the United States and around the globe, PRIME AE has restricted its employees from travel and on-site work, whether at a client facility or PRIME AE facility, to protect the health of both PRIME AE’s and its clients’ employees. Accordingly, to the extent that any of the services described in this Statement of Work requires or relies on PRIME AE or Client personnel to travel and/or perform work on-site, either at Client’s or PRIME AE’s facilities, including, but not limited to, maintaining business operations and/or information technology infrastructure, PRIME AE and Client acknowledge and agree that the performance of such work may be delayed and thus certain services described herein may need to be rescheduled and/or suspended at either PRIME AE’s or Client’s sole discretion.

Each party agrees to provide the other with prompt notice (email will be sufficient) in the event any of the services described herein will need to be rescheduled and/or suspended. The parties further acknowledge and agree that any delays or workarounds due to the situation surrounding COVID-19 may increase the cost of the services described herein; provided, however, PRIME AE will obtain Client’s prior written approval (email will be sufficient) for any increase in the cost of the services resulting from the situation surrounding COVID-19. Each party agrees that NEITHER PARTY, NOR THEIR PERSONNEL, WILL BE HELD RESPONSIBLE OR LIABLE TO THE OTHER PARTY FOR ANY LOSSES OR DAMAGES, INCLUDING, BUT NOT LIMITED TO, INTERRUPTION OR LOSS OF BUSINESS, OR ANY LOST PROFITS, REVENUE OR DATA, ARISING FROM OR RELATING TO DELAYS IN THE PERFORMANCE, OR THE NONPERFORMANCE, OF THE SERVICES DESCRIBED HEREIN DUE TO THE SITUATION SURROUNDING COVID-19.

To the extent PRIME AE agrees to provide any of the services described herein on-site, whether at PRIME AE’s or Client’s facilities, Client hereby agrees (i) NEITHER PRIME AE, NOR ANY OF ITS PERSONNEL, SHALL BE RESPONSIBLE OR LIABLE TO CLIENT, ITS PERSONNEL, OR ANY THIRD PARTY FOR ANY PERSONAL OR BODILY INJURY ARISING FROM OR RELATED TO COVID-19, INCLUDING, BUT NOT LIMITED TO, DEATH, OR ANY RESULTING LOSS OR DAMAGE TO CLIENT RELATED TO ANY SUCH INJURY, INCLUDING, BUT NOT LIMITED TO, LOST PROFITS, REVENUE, AND DATA; and (ii) to indemnify, defend and hold PRIME AE and its personnel harmless from and against any claims threatened or made by Client, its personnel, or any third party based upon any personal or bodily injury, including death, arising from or relating to exposure to COVID-19 through PRIME AE’s personnel in connection with the services described herein.

F. Access to Client Facilities.

In providing the Services, PRIME AE may from time to time need to test, access, or use the Client’s systems, applications, or hardware (collectively, “Client Network”). Client shall provide PRIME AE in advance of the commencement of the affected Services with a copy of Client’s safety, security, and facilities policies which



are applicable to the use of, and access to, the Client Network and PRIME AE shall use commercially reasonable efforts to abide by such communicated policies as appropriate under the circumstances. If compliance with such policies will prevent or impair PRIME AE from performing the Services or its obligations under this Agreement, the Parties shall work in good faith to develop reasonable exceptions to such policies. If such exceptions cannot be agreed upon, the applicable Statement(s) of Work will be modified to excuse PRIME AE's performance of the affected Services. If PRIME AE's adherence to Client's policies increases PRIME AE's costs of providing the Services, PRIME AE shall notify Client of the foregoing and Client shall pay PRIME AE for the increased costs associated with adherence to such policies.

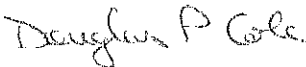
G. Terms & Conditions

Our work under this Proposal shall be performed in accordance with PRIME AE's Standard Terms and Conditions, attached hereto and hereby incorporated herein and made a part of this Proposal for all purposes as if fully set forth herein.

If you agree with this Proposal, please return an executed copy of this Proposal. If you have any questions, please feel free to contact me.

Sincerely,

KB Group of NY, Inc. dba PRIME AE Group of NY



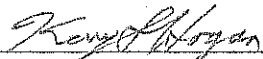
Douglas P. Cole, P.E.
Senior Director of Engineering

Enclosure: Standard Terms & Conditions

AGREED TO BY TOWN OF DUANESBURG:

AGREED TO BY KB GROUP OF NY, INC.
DBA PRIME AE GROUP OF NY:

William Wenzel, Supervisor



Kerry Hogan, P.E. - Senior Vice President

DATE: _____

DATE: 3/28/2022





1. **General.** These Standard Terms & Conditions, together with the accompanying proposal, constitute the full and complete Agreement between PRIME AE Group, Inc. (and its affiliates and subsidiaries) ("PRIME AE") and the entity or person to whom the proposal is addressed ("Client") to perform basic or additional services as set forth in the proposal. PRIME AE and Client may be referred to collectively herein as "the parties", and any one of them may be referred to as "a party". The technical and pricing information in the proposal is the confidential and proprietary property of PRIME AE and shall not be disclosed or made available to third parties without the written consent of PRIME AE. Unless otherwise specified in the proposal, the proposal fees and schedule constitute PRIME AE's best estimate of the charges and time required to complete the project. As the project progresses, site conditions, changes in the law, or other unknown facts or events may dictate revisions in scope and fee. PRIME AE will inform Client of such situations so that proposal revisions can be accomplished. The parties agree to negotiate such revisions in good faith.

2. **Performance of Services.** PRIME AE's services will be performed in accordance with generally accepted practices and ordinary skill and care of architects, engineers, scientists and/or technical professionals providing similar services at the same time, in the same locale, and under like circumstances. Client agrees that PRIME AE has been engaged to provide professional services only, and that PRIME AE does not owe a fiduciary duty or responsibility to Client. There are no intended third-party beneficiaries to this Agreement. No other warranty, express or implied, is included or intended by the Agreement. PRIME AE is an independent contractor and nothing in this Agreement shall be construed to create a partnership, joint venture, or create a relationship of employer/employee or principal/agent between PRIME AE and Client or its subcontractors or consultants. PRIME AE does not represent or warrant that any permit or approval will be issued by any governmental body in view of the complexity and the frequent changes in applicable rules and regulations and interpretations by authorities.

3. **Right of Entry.** Client shall be responsible for obtaining all legal right-of-entry, and associated costs, onto properties required by the project.

4. **Modification.** This Agreement may be changed, amended, added to, superseded, or waived only if both parties specifically agree in writing to such amendment of the Agreement. In the event of any inconsistency between these Standard Terms & Conditions and any proposal, contract, purchase order, requisition, notice to proceed, or like document, these Standard Terms & Conditions shall govern.

5. **Compensation.** Client shall pay PRIME AE pursuant to the rates and charges set forth in the proposal. Invoices will be submitted periodically (customarily on a monthly basis), and terms are net cash, due and payable upon receipt of invoice. Client shall notify PRIME AE in writing of any disputed amount within fifteen (15) days from date of the invoice, give reasons for the objection, and promptly pay the undisputed amount. If Client fails to make any payment due to PRIME AE for services and expenses within thirty (30) days after receipt of PRIME AE's statement therefor, the amounts due PRIME AE will be increased at the rate of 1.5% per month from said thirtieth day, and in addition, PRIME AE may, after giving seven (7) days' written notice to Client, suspend services under this Agreement. Unless payment is received by PRIME AE within seven (7) days of the date of the notice, the suspension shall take effect without further notice. In the event of a suspension of services, PRIME AE shall have no responsibility to Client for delay or damage caused Client because of such suspension of services. Client shall pay all undisputed fees. In the event PRIME AE employs the services of any attorney or agency to collect any sums due hereunder or to enforce any terms contained herein. Client agrees to pay litigation costs, reasonable attorney's fees and court costs (prior to and through any trial and/or subsequent proceeding) incurred by PRIME AE.

6. **Insurance.** PRIME AE will maintain workers' compensation insurance as required under the laws of the state in which the services will be performed. PRIME AE agrees to purchase at its own expense, Comprehensive General Liability insurance with a combined single limit of \$1,000,000 per occurrence and \$2,000,000 in the aggregate for bodily injury, including death and property damage; Professional Liability insurance in the amount of \$1,000,000 per claim and in the aggregate; Automobile Liability insurance with a combined single of \$1,000,000 per occurrence; and will, upon request, furnish insurance certificates to Client





materials, equipment, fuel or transportation. Delays within the scope of this article that cumulatively exceed thirty (30) calendar days shall, at the option of either party, make this Agreement subject to termination or renegotiation. Should Client require PRIME AE to maintain its personnel and equipment available during the delay period, Client agrees to compensate PRIME AE for additional labor, equipment, and any and all other costs associated with PRIME AE in maintaining its personnel during the delay period.

11. Mutual Waiver of Consequential Damages.

Neither Client nor PRIME AE, nor their affiliates or subsidiaries, nor the officers, directors, agents, employees, or their subcontractors, subconsultants, or vendors, shall be liable to the other, third parties, or shall make any claim for any incidental, indirect, special, collateral, exemplary, punitive or consequential damages arising out of, or connected in any way to the services or this Agreement, whether the action in which recovery of damages is sought is based upon contract, tort, including, to the greatest extent permitted by law, the sole, concurrent or other negligence, whether active or passive, strict liability, breach of contract and breach of warranty. Consequential damages include, but is not limited to, damages related to loss of use, loss of profits, loss of income, loss of reputation, unrealized savings or diminution of property value and shall apply to any cause of action.

12. Services During Construction. If PRIME AE provides services including the performance of services during the construction phase of the project, it is understood that the purpose of such services, including to visit the project site, will be to enable PRIME AE to better perform its services as a design professional, and to determine, in general, if construction is proceeding in a manner indicating that the completed work of others will conform generally to the contract documents. PRIME AE shall not, during such visits or as a result of observations of construction, supervise, direct, or have control over others' work nor shall PRIME AE have authority over, or responsibility for, the means, methods, sequences or procedures of construction selected by others or safety precautions and programs incident to the work of others or for any failure of others to comply with laws, rules, regulations, ordinances, codes or orders applicable to others furnishing and performing their work. PRIME AE does not guarantee the performance of the construction work or contract by

others and does not assume responsibility for others' failure to furnish and perform their work. If PRIME AE's services during construction include shop drawing review, PRIME AE will review (or take other appropriate action with respect to) shop drawings, samples, and other data which the contract documents require PRIME AE to review, but only for conformance with PRIME AE's design concept of the project and compliance with the information set forth in contract documents. Such review or other actions shall not extend to means, methods, techniques, sequences, or procedures of manufacture (including the design of manufactured products) or construction, or to safety precautions and programs incident thereto. PRIME AE's review or other actions shall not constitute approval of an assembly or product of which an item is a component, nor shall it relieve others of (a) their obligations regarding review and approval of any such submittals, and (b) their exclusive responsibility for the means, methods, sequences and procedures of constructions, including safety of construction.

13. Certifications. PRIME AE shall not be required to sign any documents, no matter by whom requested, that would result in PRIME AE's having to provide certification, a guarantee, or a warranty.

14. Reliance. PRIME AE shall be entitled to rely, without liability, on the accuracy and completeness of any and all information provided by Client, Client's employees, representatives, agents, independent contractors, construction managers, consultants and contractors, and information from public records, without the need for independent verification. Any opinions rendered by PRIME AE pursuant to this Agreement are for the sole and exclusive use of Client, and are not intended for the use of, or reliance upon, by any third parties without the prior written approval of PRIME AE. Client agrees to indemnify, hold harmless, and defend PRIME AE to the fullest extent permitted by law for any claims, losses, or damages allegedly suffered by others due to unauthorized reliance of any opinion provided under the Agreement.

15. Opinion of Probable Costs. When required as part of its services, PRIME AE will furnish opinions of probable cost, but does not guarantee the accuracy of such estimates. Opinions of probable cost, financial evaluations, feasibility studies, economic analyses of alternate solutions, and utilitarian considerations of



operations and maintenance costs prepared by PRIME AE hereunder will be made on the basis of PRIME AE's experience and qualifications and will represent PRIME AE's judgment as an experienced and qualified design professional. However, users of the probable cost opinions must recognize that PRIME AE does not have control over the cost of labor, material, equipment, or services furnished by others or over market conditions or contractors' methods of determining prices or performing the services.

16. Limitation of Liability. Client and PRIME AE have discussed the risks, rewards, and anticipated outcome of the project in the proposal and an estimated total fee for service, and agree that to the fullest extent permitted by law, the total liability, in the aggregate, of PRIME AE, its' officers, directors, employees, agents, and consultants to Client and anyone claiming by, through or under Client, for any and all injuries, claims, losses, expenses, or damages whatsoever arising out of or in any way related to PRIME AE's services, the project or this Agreement, from any cause or causes whatsoever, including but not limited to, negligence, errors, omissions, strict liability or contract, shall be limited to an amount of \$50,000 or PRIME AE's fee, whichever is greater. PRIME AE's calculation of fees, however set forth in the proposal, is based upon and conditioned on Client's acceptance of and enforcement before a mediator or a court of this limitation of liability. A request by Client to increase this limitation of liability must be made to PRIME AE in writing prior to Client's acceptance of the proposal. PRIME AE may increase the limit of liability in consideration of additional payment by Client. The increased limit of liability will become effective only upon a specific modification to these standard terms & conditions by an authorized representative of PRIME AE.

17. Dispute Resolution. If a dispute arises out of or relates to this Agreement or breach thereof, the parties will attempt in good faith to resolve the dispute through negotiation. If the dispute is not resolved by these negotiations, prior to the initiation of legal proceedings, Client and PRIME AE agree to submit all claims and disputes arising out of this Agreement to non-binding mediation with a mutually agreed upon mediator. The parties agree that they will participate in the mediation in good faith, that they will share equally in its costs, and that neither party will commence a civil action with respect to the matters submitted to mediation until after

the completion of the initial mediation session. This provision shall survive completion or termination of this Agreement; however, neither party shall seek mediation of any claim or dispute arising out of this Agreement beyond the period of time that would bar the initiation of legal proceedings to litigate such claim or dispute under the applicable law.

18. Precedence. These Standard Terms & Conditions shall take precedence over any inconsistent or contradictory provisions contained in, or referenced by, any proposal, contract, purchase order, requisition, notice to proceed, or similar or like document.

19. Severability. If any of these standard terms & conditions are finally determined to be invalid or unenforceable in whole or in part, the remaining provisions shall remain in full force and effect and be binding upon the parties. The parties agree to reform these Standard Terms & Conditions to replace any such invalid or unenforceable provision with a valid and enforceable provision that comes as close as possible to the intention of the stricken provision.

20. Survival. These Standard Terms & Conditions shall survive the completion of PRIME AE's services on the project and the termination of services for any cause.

21. Governing Law. The laws of the state in which the project is located shall govern the validity and interpretation of this Agreement. Client agrees that any legal action or proceeding arising out of the provision of services by PRIME AE pursuant to the proposal or any modification thereof may be submitted by PRIME AE to a State Court in the State of Maryland or State of Ohio without regard to the choice of law provision. Client irrevocably consents to jurisdiction of (and waives dispute of venue in) the aforementioned venues.

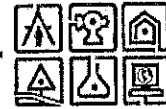
22. Assignment. No assignments by Client of this Agreement or of any monies due or to become due hereunder shall be binding upon PRIME AE until PRIME AE's written consent thereto is obtained. Any assignment by Client to anyone of any right under this Agreement without the written consent of PRIME AE shall be null and void and without effect.



C.T. MALE ASSOCIATES

Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.

50 Century Hill Drive, Latham, NY 12110
518.786.7400 FAX 518.786.7299 ctmale@ctmale.com



March 30, 2022

Melissa Deffer
Building, Planning and Zoning Clerk
Town of Duanesburg
5853 Western Turnpike
Duanesburg, NY 12056

via e-mail: MDeffer@duanesburg.net

*Re: Proposal for Town Designated Engineer Review Services
Pine Grove Dairy Self Storage SWPPP*

Dear Ms. Deffer,

Thank you for providing C.T. Male Associates the opportunity to submit this proposal for providing engineering review services for the Town of Duanesburg for reviewing the Stormwater Pollution Prevention Plan (SWPPP) associated with the proposed Pine Grove Dairy Self Storage Project located at 6204 Duanesburg Road. The project includes the construction of eleven (11) storage unit structures on approximately 20.2 acres of an overall 103.76± acre parcel. The property is identified by Tax Map #55.00-4-11.6.

A. BASIC SERVICES - SWPPP REVIEW

1. Review will concentrate on issues such as:
 - Compliance with NYSDEC requirements for stormwater management.
 - Stormwater management design and Stormwater Pollution Prevention Plan.
 - Review of the erosion and sediment control plan(s) and details.
 - Review of grading associated with site stormwater management practices.
2. Based upon our review of the SWPPP and erosion & sediment control plans, prepare a letter to the Town of Duanesburg with technical comments relating to the documents. This scope assumes three (3) reviews will be performed with letters/comments issued. Attendance at one (1) Planning Board meeting is also included.
3. Review of the applicant's final SWPPP submission addressing public and technical comments presented during the public meetings.

C.T. MALE ASSOCIATES

March 30, 2022

Melissa Deffer - Town of Duanesburg

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4. Coordination of technical reviews with representatives of involved and/or interested agencies.

B. ADDITIONAL SERVICES

The following services are not included in C.T. Male's scope of services because it is assumed that they will not be required at this time. C.T. Male is available, however, to provide additional services requested by the Town for additional compensation.

- Attendance at any meetings beyond those listed above.
- Site Plan Application review.
- Site plan review, including layout, utility, landscaping and lighting plans.
- Review of SEQRA-related documents and assistance in a SEQRA determination.
- Traffic Impact Study review.
- Architectural Design review.
- Building Code review.
- Fire Access Code Compliance.
- Offsite Utilities and Offsite Improvements.
- Construction Observation, SWPPP Inspections and Reporting.
- Post-Construction Certifications.

C. SCHEDULE OF FEES (BUDGET)

For the above scope of services, C.T. Male proposes to be compensated on an hourly rate basis in accordance with our rate and reimbursables schedule, a copy of which is attached for 2022. It should be noted that our rate schedule is subject to change annually. Out of pocket expenses will be billed at cost and invoices will be submitted on a monthly basis in accordance with the hours spent.

Our budgeted fee for this task, based upon the information submitted to date is \$4,500. This initial escrow estimate assumes a review for three (3) submissions and attendance at one (1) Planning Board meeting. If additional escrow is necessary, C.T. Male will advise the Town and provide an estimate.

It should be noted that this estimated budget is subject to modification depending upon the quality and completeness of the application package, the responsiveness of the applicant to the Town's comments and the number of meetings required.

C.T. MALE ASSOCIATES

March 30, 2022

Melissa Deffer - Town of Duanesburg

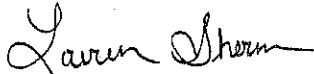
Page - 3

C.T. Male will continue to update the Town regarding the escrow balance as we move through the process. Unless specifically requested by the Town, C.T. Male will not advance our review effort without sufficient escrow funds in place.

We look forward to assisting the Town in this project review. If you have any questions, please feel free to contact me at your convenience by phone at 518-786-7618 or via e-mail at l.sherman@ctmale.com.

Sincerely,

C.T. Male Associates,



Lauren Sherman, P.E.

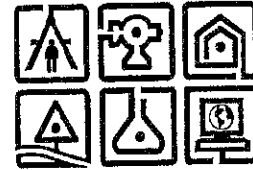
Project Manager

w/encl.

SCHEDULE OF REPRESENTATIVE

CHARGE RATES

January - December 2022



Professional Level Classifications

Rate Per Hour

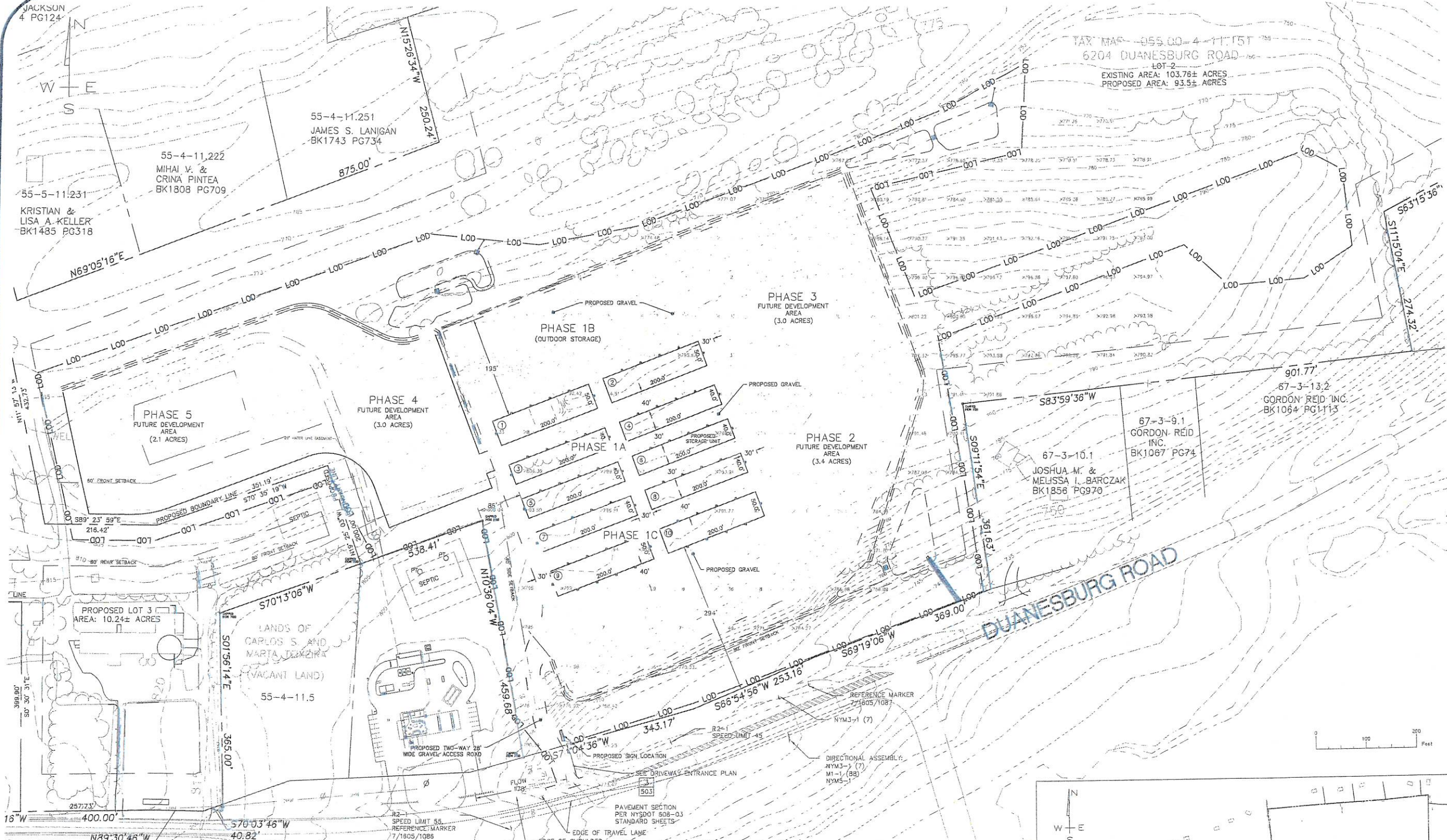
P7 -	President, Chief Executive, Chief Operating Officer	\$250 to \$350
P7 -	Vice President(s)	\$210 to \$250
P6 -	<i>Managing:</i> Engineer, Environmental Scientist, Surveyor, Architect, Land Planner, GIS Specialist	\$150 to \$230
P5 -	<i>Senior:</i> Engineer, Environmental Scientist, Surveyor, Architect, Land Planner, Project Manager, GIS Specialist	\$135 to \$165
P4 -	<i>Project:</i> Engineer, Environmental Scientist, Surveyor, Architect, Land Planner, Manager, GIS Specialist	\$125 to \$160
P3 -	<i>Assistant Project:</i> Engineer, Environmental Scientist, Surveyor, Architect, Senior Architect Intern, Land Planner	\$95 to \$140
P2 -	Design Engineer, Environmental Scientist, Architect, Architect Intern, Intern Land Planner; Project Coordinator	\$85 to \$125
P1 -	<i>Intern/Junior:</i> Engineer, Environmental Scientist, Surveyor, Architect	\$65 to \$105

Technical Level Classifications

T6-	Senior Designer, Senior Construction Observer, Senior Engineering Technician, Senior GIS Technician, Senior Crew Chief	\$90 to \$180
T5 -	Engineering Technician V, Designer, Senior Designer, Construction Observer, Senior Crew Chief, Environmental Technician, GIS Technician, Survey Technician, GPS Manager	\$80 to \$120
T4 -	Senior Drafter, Construction Observer, Field Scientist, Crew Chief, Designer, Instrument Operator, Survey Technician	\$75 to \$115
T3 -	Drafter, Instrument Operator, Survey Technician, Field Scientist, Construction Observer, GIS Technician	\$65 to \$100
T2 -	Instrument Operator, Drafter, Field Scientist, Construction Observer, GIS Technician	\$55 to \$90
T1 -	Junior Drafter, Instrument Operator Intern, Junior Technician, Field Scientist, Construction Observer, GIS Technician	\$50 to \$80

Support Services

S -	Administrative Assistant, Clerk, Project Coordinator	\$70 to \$95
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TAX MAP 55-4-11.151
6204 DUANESBURG ROAD
LOT 2
EXISTING AREA: 103.76± ACRES
PROPOSED AREA: 93.5± ACRES



SITE LOCATION MAP
SCALE: N.T.S.

No.	Revision Description	Date
1	Revised to Full Plan Set	2/10/22
2	Revised per PB comments	3/3/22

PRIOR TO ANY EARTH DISTURBANCE THE CONTRACTOR SHALL CALL IN A TICKET TO DIG SAFE NY AND OBTAIN A CLEAR TO DIG

IT IS A VIOLATION OF SECTION 7209 OF THE NYS EDUCATION LAW FOR ANY PERSON TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY UNLESS HE/SHE IS ACTING UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER

CHRISTOPHER D. LONGO, PE
N.Y.S. LIC. # 095840



EMPIRE ENGINEERING, PLLC
1900 DUANESBURG ROAD
DUANESBURG, NY 12056
PH: (518) 858-4117
EMAIL: CLONGO@EMPIREENG.NET

PROJECT
PINE GROVE DAIRY
SELF - STORAGE
DUANESBURG ROAD
DUANESBURG, NY

SITE LAYOUT PLAN

Date	Sheet
1/6/2022	C101
Scale	
1"=100'	
Job#	
21018	1 OF 7

LEGEND

EXISTING PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
PROPERTY SETBACK	---
LIMITS OF DISTURBANCE	LOD
PROPOSED ASPHALT AREA	▭
PROPOSED GRAVEL	▭
PROPOSED GRASS AREA	▭
EXISTING CONTOUR	---
PROPOSED CONTOUR	---

PROJECT INFORMATION:
OWNER/APPLICANT: VALLEY MOBILE HOME COURT, LLC, 2711 STATE ROUTE 7 COBLESKILL, NY 12043
PROPERTY TAX MAP NUMBER: 55-4-11.6
PARCEL AREA: 103.76± AC, 4,319,786± SF
MUNICIPALITY: TOWN OF DUANESBURG, SCHEMENADY COUNTY
SCHOOL DISTRICT: DUANESBURG CENTRAL
FIRE DISTRICT: DUANESBURG VFD 2
ZONING: C-2 MANUF & LIGHT INDUSTRIAL
HEIGHT: REQUIRED: 42 FT (3 STORY) MAX, PROPOSED: <35 FT
AREA: REQUIRED: 100,000 SF MIN, EXISTING: 4,319,786± SF

WIDTH: REQUIRED: 200 FT MINIMUM, EXISTING: 4,000± FT
DEPTH: REQUIRED: 200 FT MIN, EXISTING: > 1,000 FT
MAXIMUM LOT COVERAGE: REQUIRED: 50%, PROPOSED: 2%
MAXIMUM BUILDING SIZE: REQUIRED: 40,000 SF PROPOSED: MAX 10,000 SF

SETBACKS:
REQUIRED:
FRONT: 80 FT
SIDE: 40 FT
REAR: 80 FT
PROPOSED:
FRONT: 29± FT
SIDE: 88± FT
REAR: >500 FT

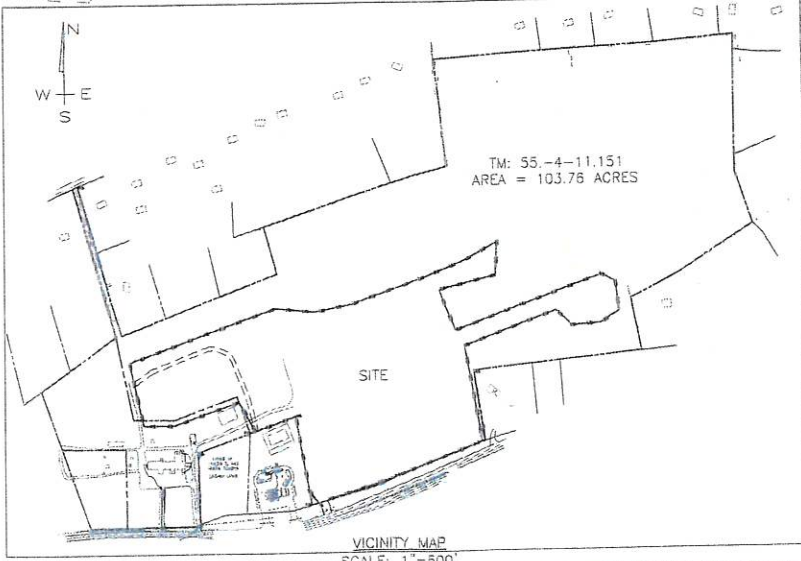
APPLICABLE ALLOWED USES: STORAGE FACILITY (BY SPECIAL USE PERMIT)
PROPOSED DEVELOPMENT: CONSTRUCTION OF TEN (10) STORAGE UNIT STRUCTURES TOTAL GSF = 88,000 SF WITH ASSOCIATED STORMWATER MANAGEMENT SYSTEM

DEED REFERENCE:
CONVEYED BY DAVID C VINCENT AND ANN M VINCENT TO VALLEY MOBILE HOME COURT, LLC BY DEED DATED MAY 8, 2021 AND RECORDED IN THE SCHEMENADY COUNTY CLERKS OFFICE ON MAY 13, 2021 IN BOOK 2058 OF DEEDS AT PAGE 965.

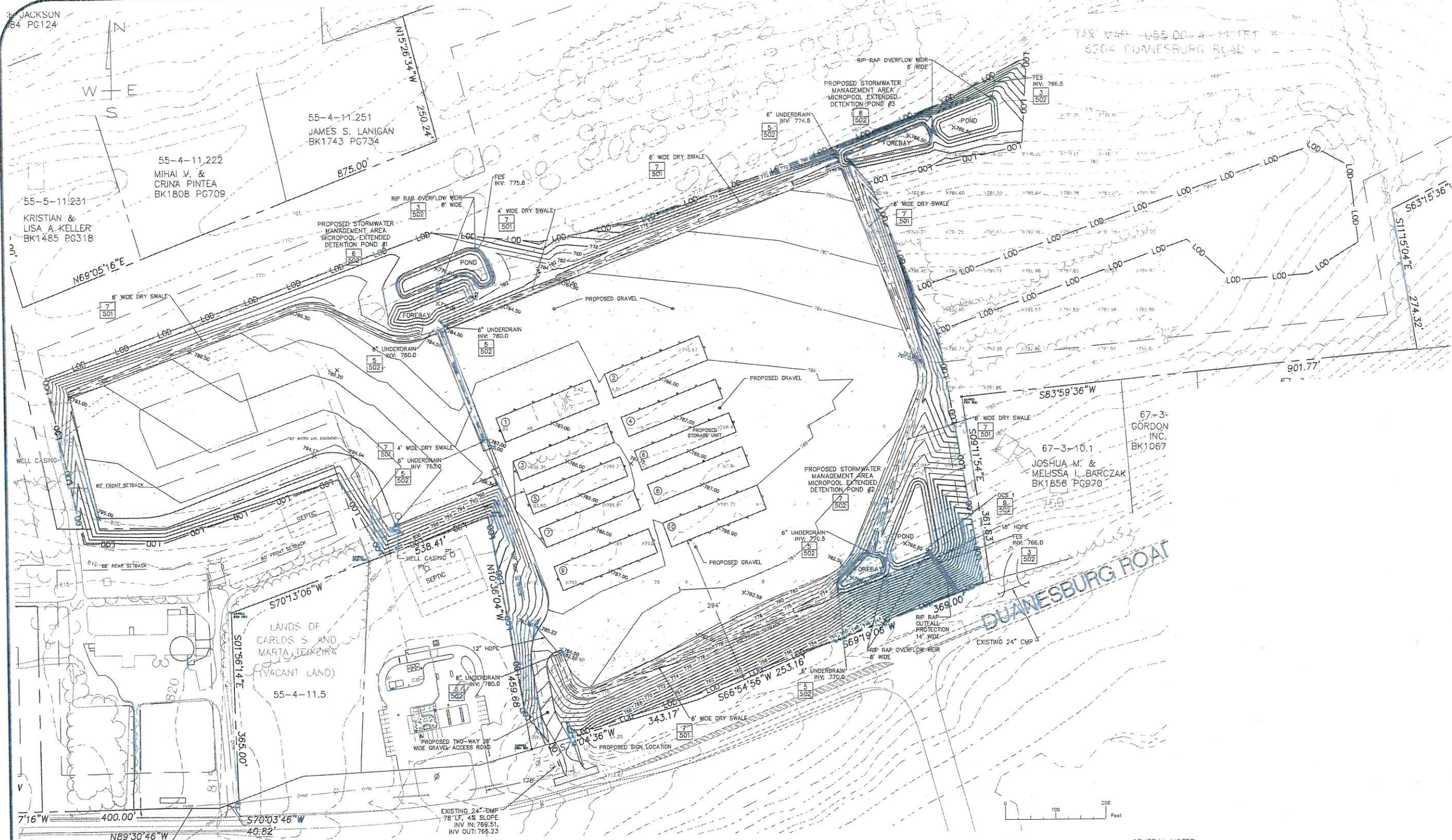
MAP REFERENCE:
1) MAP ENTITLED "MINOR SUBDIVISION OF EXISTING DEVELOPED LOT" AS PREPARED BY LM ASSOCIATES CONSULTING ENGINEERING ON AUGUST 13, 2012 AND LAST REVISED ON AUGUST 27, 2012. COPY PROVIDED BY THE CLIENT.

NOTES:
1) SURVEYED PARCEL: TOWN OF DUANESBURG - TAX MAP 55.00, BLOCK 4, PARCEL 11.6.
2) PLAT PREPARED BY GERALD R GRAY PLS. FROM MAP REFERENCE 1 AND A MAY/SEPTEMBER 2021 FIELD SURVEY.
3) NORTH IS REFERENCED TO HAD 83 NEW YORK STATE PLANES EAST ZONE. ELEVATIONS ARE BASED UPON NAVD 88 DATUM.
4) SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTION; RECORDED OR UNRECORDED.
5) SUBJECT TO ANY STATEMENT OF FACT CONTAINED IN AN UP TO DATE ABSTRACT OF TITLE OR TITLE REPORT.
6) UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED ON VISIBLE PHYSICAL EVIDENCE. THEY SHOULD BE CONSIDERED SCHEMATIC ONLY AND ARE SHOWN TO DEPICT GENERAL UTILITY CONNECTIONS RATHER THAN EXACT UNDERGROUND LOCATIONS. GERALD R GRAY PLS MAKES NO CERTIFICATION AS TO THE ACCURACY OF THE UNDERGROUND UTILITY LOCATIONS AND OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS MAP. CALL DIGSAFE FOR FURTHER VERIFICATION.
7) SURVEY IS PREPARED IN ACCORDANCE WITH THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS CODE OF PRACTICE FOR LAND SURVEYS AS ADOPTED IN OCTOBER OF 1988 AND LAST REVISED ON JULY 13, 1997.

- GENERAL NOTES:**
- PROPOSED LIMITS OF CLEARING TOTAL GREATER THAN 5.0 ACRES. PROJECT DISTURBANCE WILL REQUIRE A FULL STORMWATER POLLUTION PREVENTION PLAN COMPLIANCE WITH NYSDEC REGULATIONS.
 - A PORTION OF THE SUBJECT PROPERTY IS WITHIN SEWER DISTRICT #3. ANY PROPOSED CONNECTION TO THE MUNICIPAL SEWER SYSTEM SHALL BE REVIEWED AND APPROVED BY THE TOWN OF DUANESBURG.
 - THIS PROPERTY IS ADJACENT TO LANDS IN THE AGRICULTURAL DISTRICT AND FARMING ACTIVITIES MAY INCLUDE, BUT NOT LIMITED TO, ACTIVITIES THAT CAUSE NOISE, DUST, AND ODORS.
 - THIS COMMERCIAL ZONED PROPERTY IS ADJACENT TO RESIDENTIAL LANDS. RESIDENTIAL USES AND ADJOINERS MAY ON OCCASION BE SUBJECT TO ENVIRONMENTAL CONDITIONS ASSOCIATED WITH A POTENTIAL BUSINESS. THESE ENVIRONMENTAL CONDITIONS MAY INCLUDE NOISE, LIGHT, TRAFFIC, ODORS, ETC.
 - SCHEMENADY COUNTY ENVIRONMENTAL HEALTH DEPARTMENT APPROVAL FOR SEPTIC AND WELL WILL BE REQUIRED FOR ANY FUTURE WATER USAGE.



VICINITY MAP
SCALE: 1"=500'

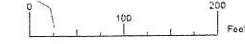


7'16" W 400.00' N89°30'46" W S70°03'46" W 40.82'

PROJECT INFORMATION:
OWNER/APPLICANT:
VALLEY MOBILE HOME COURT, LLC
2711 STATE ROUTE 7
COBLESKILL, NY 12043
PROPERTY TAX MAP NUMBER
55-4-11.6

LEGEND

EXISTING PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
PROPERTY SETBACK	---
LIMITS OF DISTURBANCE	LOD
PROPOSED ASPHALT AREA	[Hatched Box]
PROPOSED GRAVEL	[Hatched Box]
PROPOSED GRASS AREA	[Hatched Box]
EXISTING CONTOUR	---
PROPOSED CONTOUR	---



GENERAL NOTES:

1. THIS PROJECT QUALIFIES FOR COVERAGE UNDER THE NYSDEC GENERAL PERMIT GP 0-20-001. A NOTICE OF INTENT (NOI) MUST BE FILED WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND AUTHORIZATION RECEIVED PRIOR TO CONSTRUCTION ACTIVITIES.
2. A STORMWATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES GP 0-20-001 AND SHALL BE CONSIDERED SUPPLEMENTAL TO THESE PLANS.
3. ANY CONTRACTOR INVOLVED IN ANY EARTHWORK ACTIVITY SHALL REVIEW ALL PLANS AND PERMIT CONDITIONS AND CERTIFY ACKNOWLEDGEMENT IN WRITING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ALL EROSION CONTROLS DESCRIBED IN GP 0-20-001, AND IT IS NOT THE INTENT OF THESE DRAWINGS TO REPLACE OR DISSEMINATE THE PERMIT REQUIREMENTS. THE CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH THE PERMIT AT ALL TIMES.
4. NO MORE THAN FIVE (5) ACRES OF SITE SHALL BE DISTURBED AT ONE TIME. THE CONTRACTOR SHALL COORDINATE EARTHWORK ACTIVITIES AND IMPLEMENTATION OF SOIL STABILIZATION MEASURES TO ENSURE COMPLIANCE WITH THIS REQUIREMENT.
5. DISTURBED AREAS SHALL NOT BE LEFT UNSTABILIZED FOR MORE THAN 14 DAYS AFTER COMPLETION OR SUSPENSION OF GRADING OPERATIONS.

No.	Revision Description	Date

PRIOR TO ANY EARTH DISTURBANCE THE CONTRACTOR SHALL CALL IN A TICKET TO DIG SAFE NY AND OBTAIN A CLEAR TO DIG

IT IS A VIOLATION OF SECTION 7209 OF THE NYS EDUCATION LAW FOR ANY PERSON TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY UNLESS HE/SHE IS ACTING UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER.

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PROJECT
PINE GROVE DAIRY
SELF - STORAGE
DUANESBURG ROAD
DUANESBURG, NY

GRADING & DRAINAGE PLAN	
Date 02/10/2022	Sheet C102
Scale 1"=100'	
	21018 2 OF 7



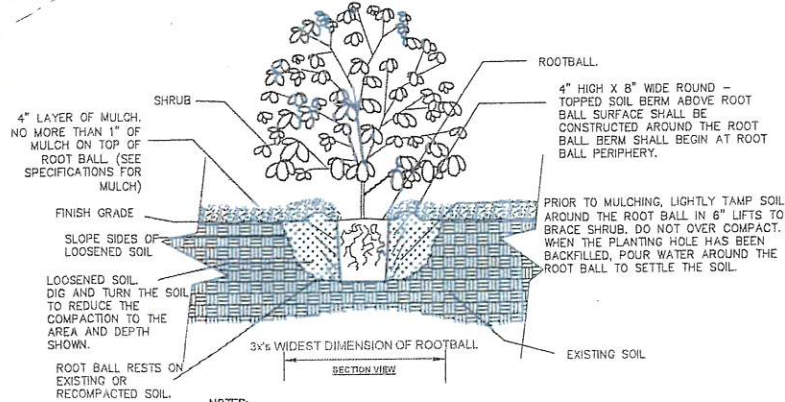
LIGHTING SCHEDULE						
TYPE	# OF FIXTURES	MANUF.	CATALOG #	LUMENS	NOTES	SYMBOL
WALL MOUNTED	63	LITHONIA LIGHTING	RSK2 LED P2 40K R3	17,202	MOUNTED ON ENDS AND SIDE WALLS	711

NOTES:
 1. ALL LIGHTING SHALL BE SHIELDED AND/OR PLACED IN SUCH A MANNER AS TO PREVENT OFF-SITE ILLUMINATION.

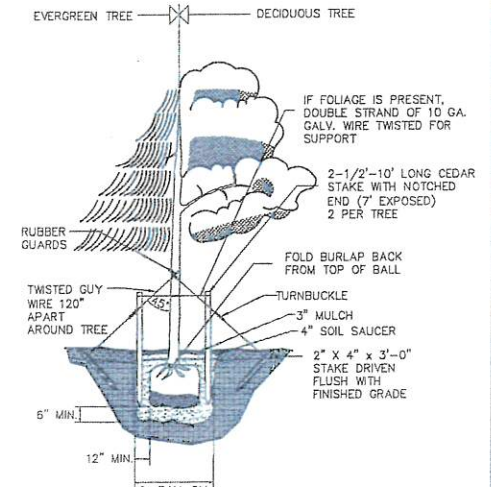
2 LIGHTING SCHEDULE
 105 BY POINT SOURCE GROUP OR APPROVED EQUAL

LANDSCAPING NOTES:

- PROVIDE NECESSARY TOPSOIL ENHANCEMENT WITHIN PLANTING AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO, AND SHALL BE PLANTED IN ACCORDANCE WITH THE STANDARDS RECOMMENDED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- TIME OF PLANTING SHALL GENERALLY BE PRIOR TO JUNE 15 AND AFTER SEPTEMBER 1. OTHER PLANTING REQUIREMENTS SHALL BE AS REQUIRED ABOVE AS WELL AS PER NURSERY AND LANDSCAPER RECOMMENDATIONS.
- ALL PLANT SIZES INDICATED ARE MINIMUM AT TIME OF PLANTING.
- ALL DISTURBED AREAS TO BE TOP SOILED AND SEEDED USING ENVIRONMENTAL SEED MIX OR APPROVED EQUAL.
 5.1 SEEDING RATE: 20LB/ACRE (1/2LB/1,000SF)
 5.2 SEEDING MIXTURE: PERENNIAL RYEGRASS-1/2LB/1,000SF
 KENTUCKY BLUEGRASS-1LB/1,000SF
 RED FESCUE-1/2LB/1,000SF
 FERTILIZER(16.32.16)-2LB/1,000SF
 LIQUID LIME-1 GAL/800GAL
 TANK FIBER MULCH-30LB/1,000SF
- THE LANDSCAPING SHALL BE MAINTAINED IN PERPETUITY AND DEAD OR DYING PLANTS SHALL BE REPLACED AS EQUAL.
- FINAL DESIGN OF LANDSCAPING AROUND SIGN AREAS SHALL BE BY THE OWNER, IT IS RECOMMENDED TO HAVE PERENNIALS PLANTED FOR MINIMUM MAINTENANCE AND FOR MAXIMUM GROWTH.
- PERENNIAL FLOWERS MAY BE A COMBINATION OF HYDRANGEAS, CONE FLOWERS, MUMS, AND LILIES.
- TOPSOIL-NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THEN 5% A PH RANGE BETWEEN 4.5-7.0 IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THEN ONE INCH, WOOD, ROOTS VEGETABLE MATTER AND CLAY CLODS.



4 TYPICAL SHRUB PLANTING DETAIL
 503 NOT TO SCALE



6 TYPICAL TREE PLANTING DETAIL
 503 NOT TO SCALE

ELECTRIC SERVICE NOTES:

- ELECTRIC SERVICE AND TRANSFORMER PAD (IF NECESSARY) TO BE SPECIFIED BY NATIONAL GRID PLANNERS

No.	Revision Description	Date
1	Revised to Full Plan Set	2/10/22
2	LOD and phase delineation	2/21/22
3	Revised per PB comments	3/3/22

PRIOR TO ANY EARTH DISTURBANCE THE CONTRACTOR SHALL CALL IN A TICKET TO DIG SAFE NY AND OBTAIN A CLEAR TO DIG

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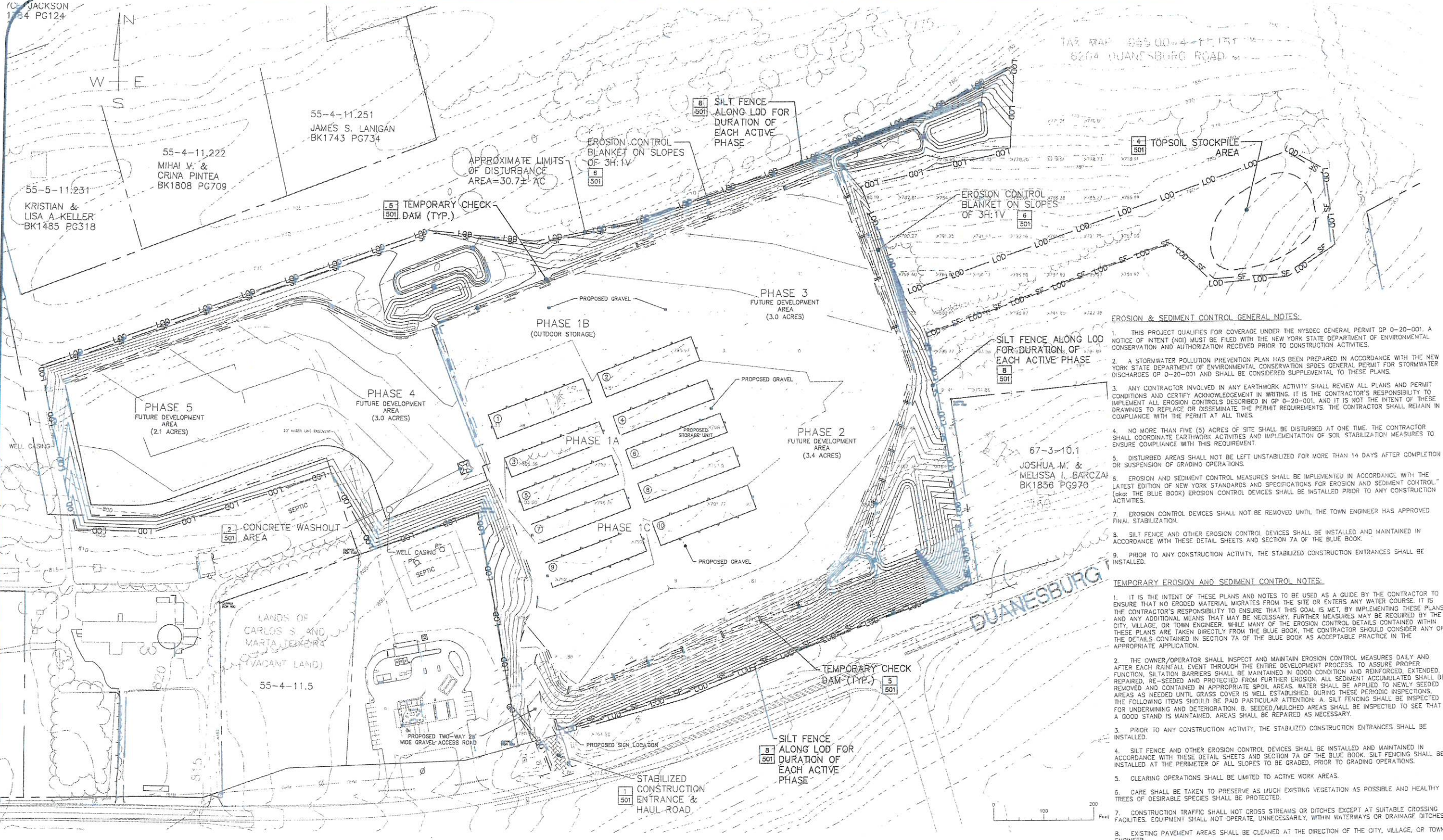
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PROJECT
 PINE GROVE DAIRY
 SELF - STORAGE
 DUANESBURG ROAD
 DUANESBURG, NY

Title	
LIGHTING & LANDSCAPE PLAN	
Date	Sheet
2/21/2022	C103
Scale	
1"=100'	
Job#	3 OF 7
21018	



EROSION & SEDIMENT CONTROL GENERAL NOTES:

1. THIS PROJECT QUALIFIES FOR COVERAGE UNDER THE NYSDEC GENERAL PERMIT GP 0-20-001. A NOTICE OF INTENT (NOI) MUST BE FILED WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND AUTHORIZATION RECEIVED PRIOR TO CONSTRUCTION ACTIVITIES.
2. A STORMWATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES GP 0-20-001 AND SHALL BE CONSIDERED SUPPLEMENTAL TO THESE PLANS.
3. ANY CONTRACTOR INVOLVED IN ANY EARTHWORK ACTIVITY SHALL REVIEW ALL PLANS AND PERMIT CONDITIONS AND CERTIFY ACKNOWLEDGEMENT IN WRITING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ALL EROSION CONTROLS DESCRIBED IN GP 0-20-001, AND IT IS NOT THE INTENT OF THESE DRAWINGS TO REPLACE OR DISSEMINATE THE PERMIT REQUIREMENTS. THE CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH THE PERMIT AT ALL TIMES.
4. NO MORE THAN FIVE (5) ACRES OF SITE SHALL BE DISTURBED AT ONE TIME. THE CONTRACTOR SHALL COORDINATE EARTHWORK ACTIVITIES AND IMPLEMENTATION OF SOIL STABILIZATION MEASURES TO ENSURE COMPLIANCE WITH THIS REQUIREMENT.
5. DISTURBED AREAS SHALL NOT BE LEFT UNSTABILIZED FOR MORE THAN 14 DAYS AFTER COMPLETION OR SUSPENSION OF GRADING OPERATIONS.
6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE LATEST EDITION OF NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (SEE THE BLUE BOOK). EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES.
7. EROSION CONTROL DEVICES SHALL NOT BE REMOVED UNTIL THE TOWN ENGINEER HAS APPROVED FINAL STABILIZATION.
8. SILT FENCE AND OTHER EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THESE DETAIL SHEETS AND SECTION 7A OF THE BLUE BOOK.
9. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

TEMPORARY EROSION AND SEDIMENT CONTROL NOTES:

1. IT IS THE INTENT OF THESE PLANS AND NOTES TO BE USED AS A GUIDE BY THE CONTRACTOR TO ENSURE THAT NO ERODED MATERIAL MIGRATES FROM THE SITE OR ENTERS ANY WATER COURSE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THIS GOAL IS MET BY IMPLEMENTING THESE PLANS AND ANY ADDITIONAL MEASURES THAT MAY BE NECESSARY. FURTHER MEASURES MAY BE REQUIRED BY THE CITY, VILLAGE, OR TOWN ENGINEER. WHILE MANY OF THE EROSION CONTROL DETAILS CONTAINED WITHIN THESE PLANS ARE TAKEN DIRECTLY FROM THE BLUE BOOK, THE CONTRACTOR SHOULD CONSIDER ANY OF THE DETAILS CONTAINED IN SECTION 7A OF THE BLUE BOOK AS ACCEPTABLE PRACTICE IN THE APPROPRIATE APPLICATION.
2. THE OWNER/OPERATOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES DAILY AND AFTER EACH RAINFALL EVENT THROUGHOUT THE ENTIRE DEVELOPMENT PROCESS TO ASSURE PROPER FUNCTION. SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEDED AND PROTECTED FROM FURTHER EROSION. ALL SEDIMENT ACCUMULATED SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDER AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED. DURING THESE PERIODIC INSPECTIONS, THE FOLLOWING ITEMS SHOULD BE PAID PARTICULAR ATTENTION: A. SILT FENCING SHALL BE INSPECTED FOR UNDERMINING AND DETERIORATION. B. SEEDER/MULCHER AREAS SHALL BE INSPECTED TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE REPAIRED AS NECESSARY.
3. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.
4. SILT FENCE AND OTHER EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THESE DETAIL SHEETS AND SECTION 7A OF THE BLUE BOOK. SILT FENCING SHALL BE INSTALLED AT THE PERIMETER OF ALL SLOPES TO BE GRADED, PRIOR TO GRADING OPERATIONS.
5. CLEARING OPERATIONS SHALL BE LIMITED TO ACTIVE WORK AREAS.
6. CARE SHALL BE TAKEN TO PRESERVE AS MUCH EXISTING VEGETATION AS POSSIBLE AND HEALTHY TREES OF DESIRABLE SPECIES SHALL BE PROTECTED.
7. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES. EQUIPMENT SHALL NOT OPERATE, UNNECESSARILY, WITHIN WATERWAYS OR DRAINAGE DITCHES.
8. EXISTING PAVEMENT AREAS SHALL BE CLEANED AT THE DIRECTION OF THE CITY, VILLAGE, OR TOWN ENGINEER.
9. WATER TRUCKS SHALL BE USED TO MINIMIZE DUST POLLUTION ON SITE, AND ON ADJACENT ROADWAY AREAS AS DIRECTED BY THE CITY, VILLAGE, OR TOWN ENGINEER.
10. ANY WATER PUMPED AS A RESULT OF DEWATERING ACTIVITIES SHALL BE PUMPED INTO A DEWATERING PIT.
11. ALL AREAS DISTURBED IN THE CONSTRUCTION PROCESS SHALL BE STABILIZED WITH SEED AND MULCH NO MORE THAN 14 DAYS AFTER COMPLETION OF WORK IN SUCH AREA. IT MAY BE NECESSARY TO SEED AND MULCH SOME AREAS SEVERAL TIMES TO MEET THIS REQUIREMENT.
12. ALL EROSION CONTROL DEVICES SHALL BE PLACED IN THE ENTIRE PHASE AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO ANY WORK ON SUCH PHASE.
13. STOCK PILES SHALL BE PROTECTED BY SILT FENCE AND SEEDED PER GP 0-20-001. THESE DEVICES SHALL BE MAINTAINED IN GOOD CONDITION UNTIL SAID STOCK PILES ARE REMOVED AND AREAS ARE PERMANENTLY STABILIZED.
14. WHEN RUNOFF IS COLLECTED AND FLOW IS CONCENTRATED IN A SWALE OR DRAINAGE DITCH, THEN CHECK DAMS SHALL BE INSTALLED TO REDUCE VELOCITY UNTIL THE SWALE AND THE AREA DRAINING TO THE SWALE ARE STABILIZED. SEDIMENT SHALL BE REMOVED FROM THE DAM AS NEEDED TO ALLOW THE CHANNEL TO DRAIN THROUGH THE DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM.
15. IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITHIN 25 FEET OF ANY DITCH, STREAM OR OTHER SURFACE WATER BODY.
16. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION AND EQUIPMENT ENTRANCE WHENEVER PRACTICABLE.
17. EROSION CONTROL DEVICES SHALL NOT BE REMOVED UNTIL THE CITY, VILLAGE, OR TOWN ENGINEER HAS APPROVED FINAL STABILIZATION.

PROJECT INFORMATION:
OWNER/APPLICANT:
VALLEY MOBILE HOME COURT, LLC
2711 STATE ROUTE 7
COBLESKILL, NY 12043
PROPERTY TAX MAP NUMBER
55-4-11.6

TEMPORARY SEDIMENT TRAP DESIGN:

No.	Contributing Acreage	*Required Storage Volume (cf)	Trap Surface Area (sf)	Trap Depth (ft)	**Provided Storage Volume (cf)
1	2.77	9,354	8,194	4	13,110
2	6.27	22,572	19,054	3	22,865
3	7.28	26,208	22,351	3	26,821

* Storage Volume (cf) = 3,600 cf per acre of drainage.
** Storage Volume (cf) = 0.4 x Surface Area (sf) x Trap Depth (ft)

LEGEND

EXISTING PROPERTY LINE	—————
ADJACENT PROPERTY LINE	—————
PROPERTY SETBACK	—————
LIMITS OF DISTURBANCE	—————
SILT FENCE	—————
PROPOSED ASPHALT AREA	—————
PROPOSED GRAVEL	—————
PROPOSED GRASS AREA	—————
EXISTING CONTOUR	—————
PROPOSED CONTOUR	—————

Date	Revision Description
3/3/22	Revised per PB comments

PRIOR TO ANY EARTH DISTURBANCE THE CONTRACTOR SHALL CALL IN A TICKET TO DIG SAFE NY AND OBTAIN A CLEAR TO DIG

IT IS A VIOLATION OF SECTION 1209 OF THE NYS EDUCATION LAW FOR ANY PERSON TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY UNLESS HE/SHE IS ACTING UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER

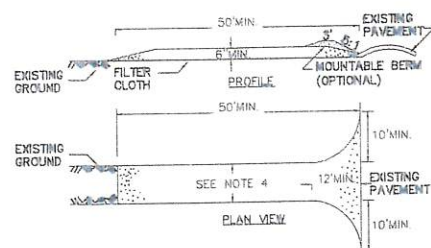
CHRISTOPHER D. LONGO, PE
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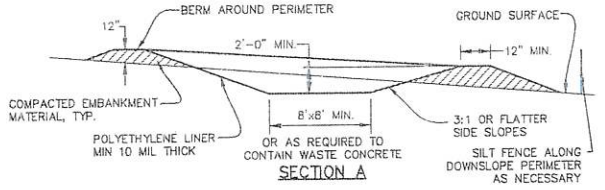
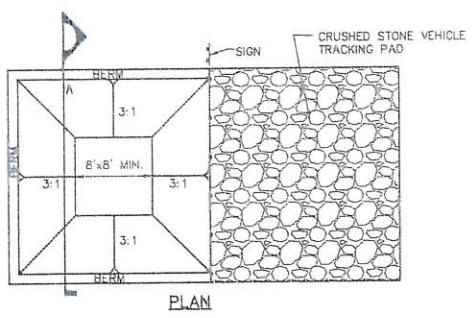
PROJECT
PINE GROVE DAIRY
SELF - STORAGE
DUANESBURG ROAD
DUANESBURG, NY

PROJECT	
PINE GROVE DAIRY SELF - STORAGE	
DUANESBURG ROAD DUANESBURG, NY	
PROJECT	
EROSION & SEDIMENT CONTROL PLAN	
Date	Sheet
02/10/2022	C104
Scale	
1"=100'	
Drawn	
21018	4 OF 7



- NOTES:**
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

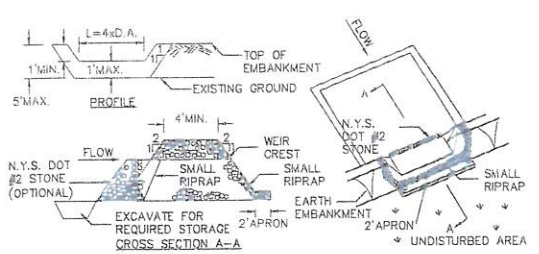
1 STABILIZED CONSTRUCTION ENTRANCE DETAIL
501



- CONCRETE WASHOUT AREA INSTALLATION NOTES**
1. SEE PLAN VIEW FOR LOCATIONS OF CONCRETE WASHOUT AREA.
 2. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 3. VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT.
 4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 5. A POLYETHYLENE LINER MINIMUM 10 MIL THICKNESS SHALL BE INSTALLED AND SECURED WITHIN THE WASHOUT AREA.
 6. EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION.

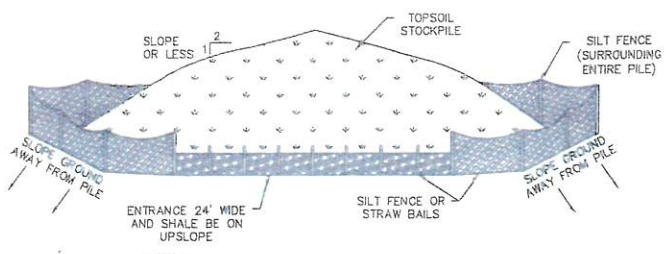
- CONCRETE WASHOUT AREA MAINTENANCE NOTES**
1. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
 2. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
 3. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, COVER THE DISTURBED AREA WITH TOPSOIL, SEED AND MULCH OR OTHERWISE STABILIZE IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
 4. INSPECT WEEKLY, DURING AND AFTER ANY STORM EVENT.

2 CONCRETE WASHOUT DETAIL
501



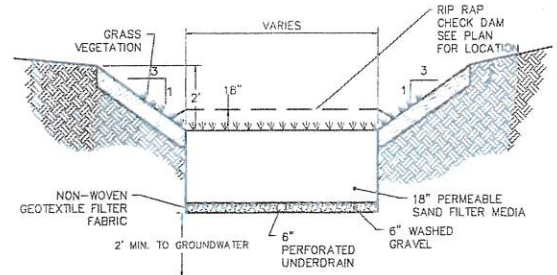
- NOTES:**
1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
 2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
 3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
 4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
 5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
 6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
 8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

3 TEMPORARY SEDIMENT TRAP DETAIL
501 NOT TO SCALE



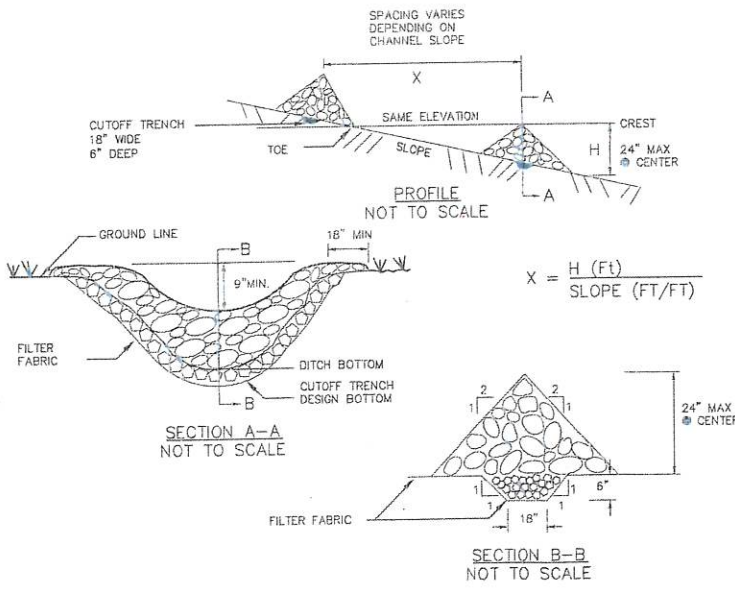
- NOTES:**
1. SILT FENCE SHALL BE INSTALLED PER DETAIL.
 2. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH SEED AND MULCH IMMEDIATELY AFTER COMPLETION OF STOCKPILING.
 3. SILT FENCE SHALL BE INSPECTED WEEKLY AND SEDIMENT TRAPPED BY THE FENCING SHALL BE REMOVED AS NECESSARY.
 4. SILT FENCE SHALL REMAIN IN PLACE UNTIL THE ENTIRE PILE HAS BEEN ELIMINATED.
 5. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.

4 TEMPORARY TOPSOIL STOCKPILE DETAIL
501



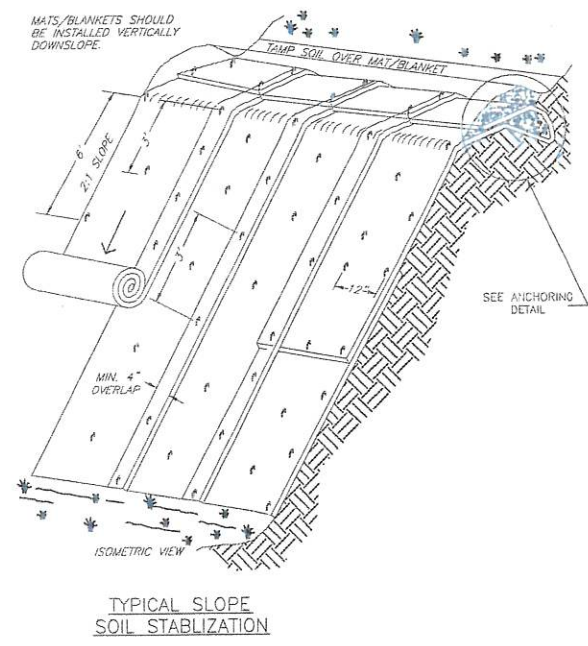
- NOTES:**
1. DISTURBED AREAS SHALL BE PLANTED WITH ENVIRONMENTAL SEED MIX.
 2. VEGETATION SHALL BE MAINTAINED AT 6" HEIGHT.
 3. ALL TREES, BRUSH, STUMPS AND OTHER OBSTRUCTIONS SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTION OF THE SWALE.
 4. THE SWALE SHALL BE EXCAVATED OR SHAPED TO MEET THE CROSS SECTION SHOWN ABOVE AND SHALL BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES THAT MAY IMPEDE FLOW.
 5. NON-WOVEN GEOTEXTILE FABRIC SHALL BE INSTALLED ON THE BOTTOM AND SIDES OF THE TRENCH AS WELL AS BETWEEN THE STONE AND SAND LAYERS.
 6. SAND FILTER MEDIA SHALL MEET THE FOLLOWING CHARACTERISTICS.
COMPOSITION: 85% MEDIUM SAND, 13% COMPOST MATERIAL, 2% MIN ORGANIC SOIL (i.e. PEAT)

5 EROSION CONTROL BLANKET INSTALLATION DETAIL
501



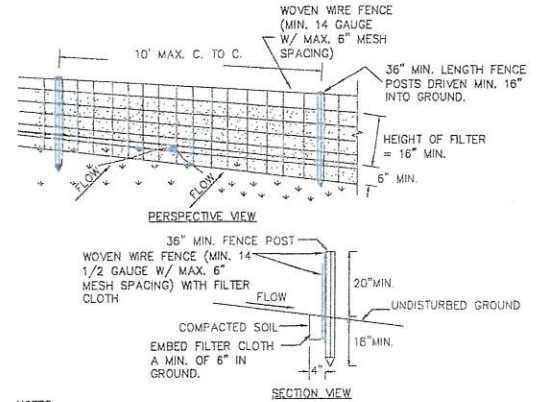
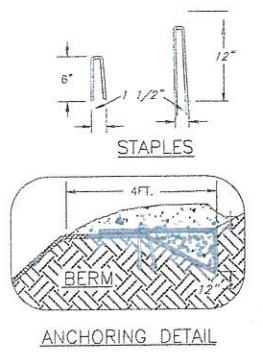
- NOTES:**
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.
 6. MAXIMUM DRAINAGE AREA 2 ACRES.

6 CHECK DAM DETAIL
501



- NOTES:**
1. STAPLES SHALL BE PLACED IN A DIAMOND PATTERN AT 2 PER S.Y. FOR STITCHED BLANKETS. NON-STITCHED SHALL USE 4 STAPLES PER S.Y. OF MATERIAL. THIS EQUATES TO 200 STAPLES WITH STITCHED BLANKET AND 400 STAPLES WITH NON-STITCHED BLANKET PER 100 S.Y. OF MATERIAL.
 2. STAPLE OR PUSH PIN LENGTHS SHALL BE SELECTED BASED ON SOIL TYPE AND CONDITIONS. (MINIMUM STAPLE LENGTH IS 6")
 3. EROSION CONTROL MATERIAL SHALL BE PLACED IN CONTACT WITH THE SOIL OVER A PREPARED SEEDBED.
 4. ALL ANCHOR SLOTS SHALL BE STAPLED AT APPROXIMATELY 12" INTERVALS.

7 TYPICAL SLOPE SOIL STABILIZATION
501



- NOTES:**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1" OR 1 1/2" TYPE OR HARDWOOD.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAF 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

8 SILT FENCE DETAIL
501

No.	Revision Description	Date
1	Revised per PB comments	3/3/22

PRIOR TO ANY EARTH DISTURBANCE THE CONTRACTOR SHALL CALL IN A TICKET TO DIG SAFE NY AND OBTAIN A CLEAR TO DIG.

IT IS A VIOLATION OF SECTION 7209 OF THE NYS EDUCATION LAW FOR ANY PERSON TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY UNLESS HE/SHE IS ACTING UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER.

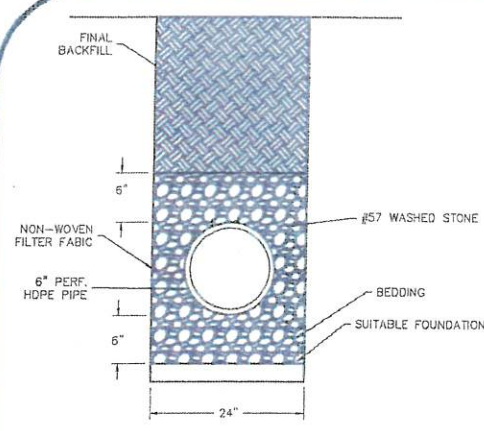
CHRISTOPHER D. LONGO, PE
N.Y.S. LIC. # 095840



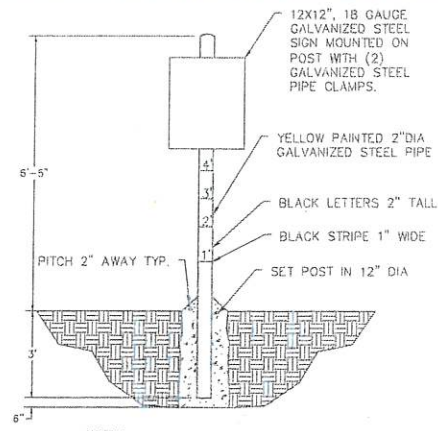
EMPIRE ENGINEERING, PLLC
1900 DUANESBURG ROAD
DUANESBURG, NY 12056
PH: (518) 858-4117
EMAIL: CLONGO@EMPIREENG.NY

PROJECT
PINE GROVE DAIRY
SELF - STORAGE
DUANESBURG ROAD
DUANESBURG, NY

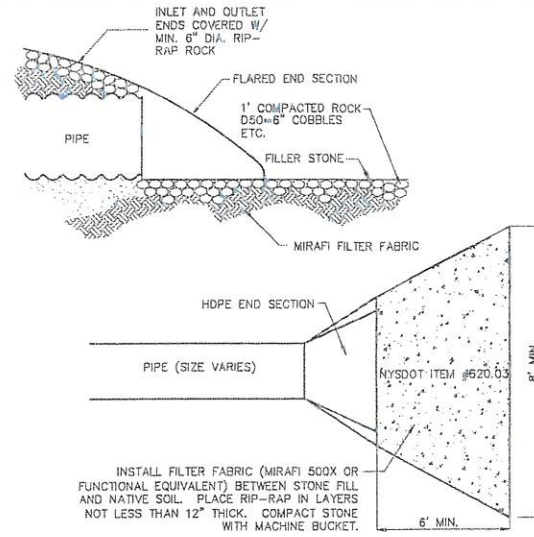
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EROSION & SEDIMENT CONTROL DETAIL	
Date	02/10/2022
Scale	1"=100'
Job#	21018
Sheet	5 OF 7



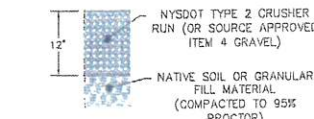
1 UNDERDRAIN DETAIL
502 NOT TO SCALE



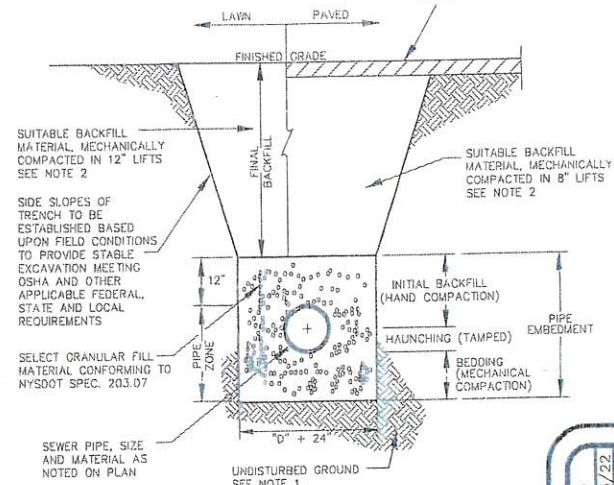
2 SEDIMENT MARKER DETAIL
502 NOT TO SCALE



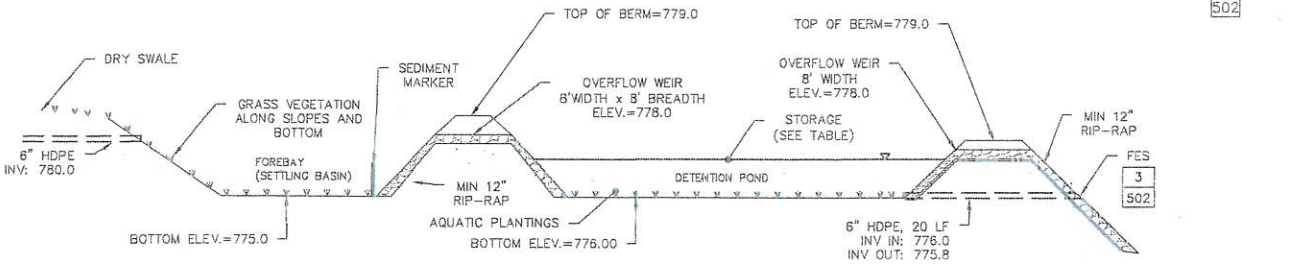
3 PIPE FLARED END SECTION DETAIL
502



4 GRAVEL AREA DETAIL
502



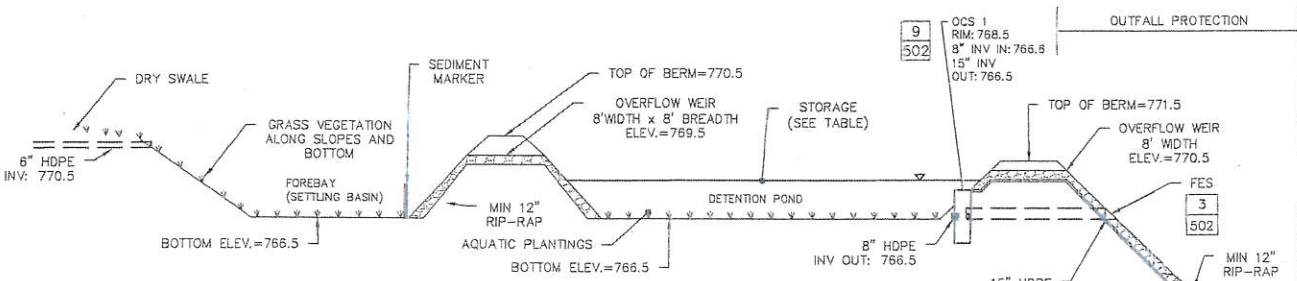
5 TYPICAL TRENCH DETAIL
502 NOT TO SCALE



ELEVATION TABLE:

1-YR:	776.44
10-YR:	776.10
100-YR:	775.17

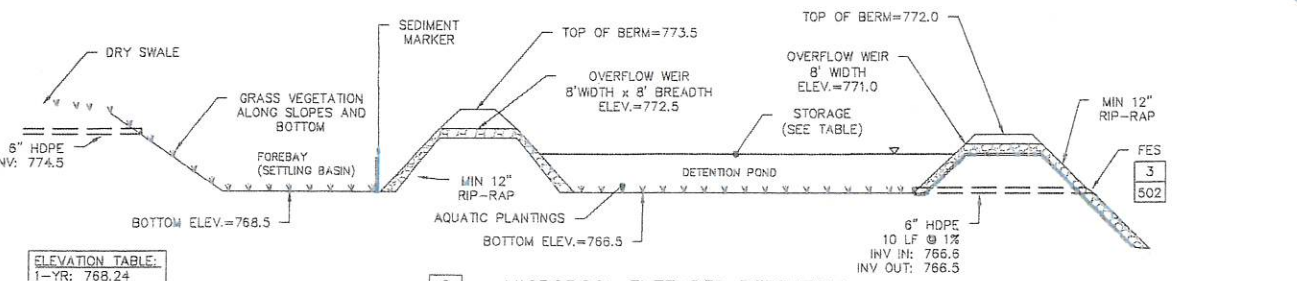
6 MICROPOL EXTENDED DETENTION POND #1 (P-1)
502 NOT TO SCALE



ELEVATION TABLE:

1-YR:	768.97
10-YR:	770.82
100-YR:	772.21

7 MICROPOL EXTENDED DETENTION POND #2 (P-1)
502 NOT TO SCALE

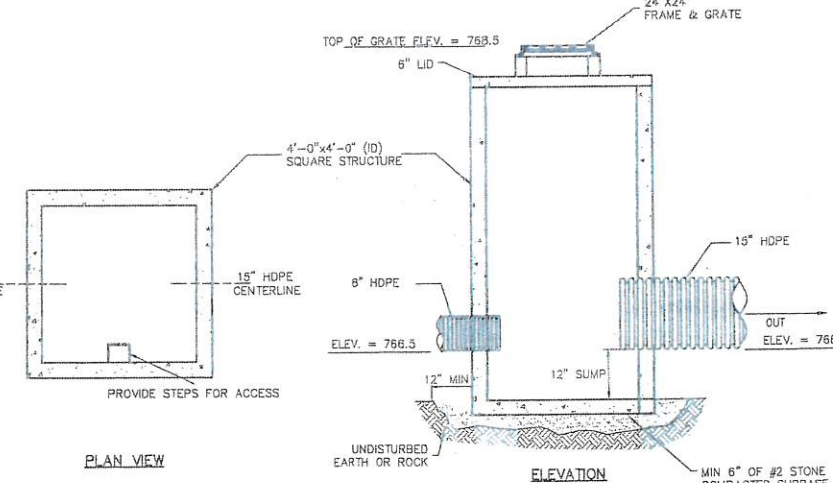


ELEVATION TABLE:

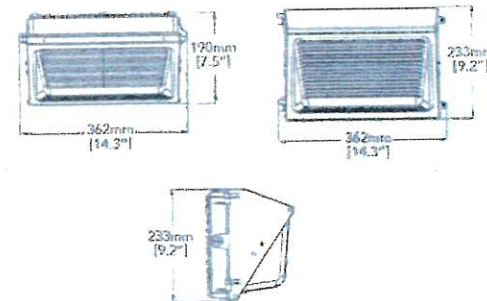
1-YR:	768.24
10-YR:	771.04
100-YR:	772.46

8 MICROPOL EXTENDED DETENTION POND #3 (P-1)
502 NOT TO SCALE

- NOTES:
1. THE ENTIRE MICROPOL EXTENDED DETENTION POND AREA SHALL BE DEEP RIPPED TO LOOSEN AND UNCONSOLIDATE SUBSOIL IN ANY AREAS WHERE DENSE SILTY SAND SUBSOIL MATERIAL IS ENCOUNTERED, THE MATERIAL SHOULD BE REMOVED FROM THE BASIN AREA AND REPLACED WITH SUITABLE GRANULAR FILL.
 2. OVERFLOW WEIR SHALL BE CONSTRUCTED WITH A MIN OF 12\"/>



9 STORMWATER OUTLET CONTROL STRUCTURE DETAIL (OCS1)
502 NOT TO SCALE



10 WALL MOUNTED LIGHTING
502

No.	Revision Description	Date
1	Revised per PB comments	3/3/22

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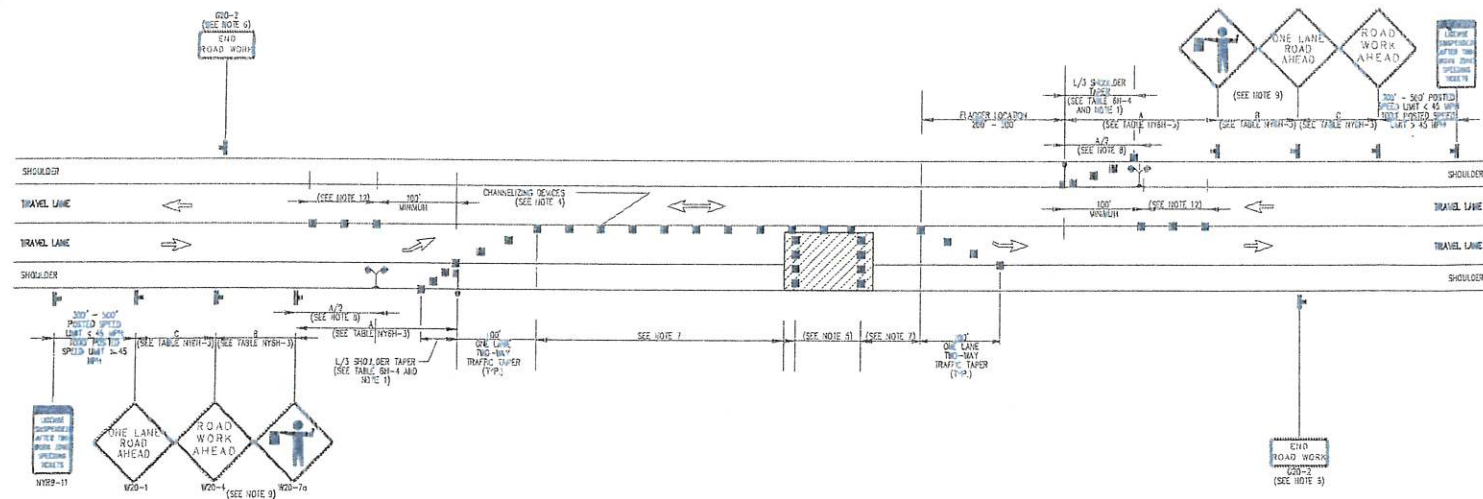
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PROJECT
PINE GROVE DAIRY
SELF - STORAGE
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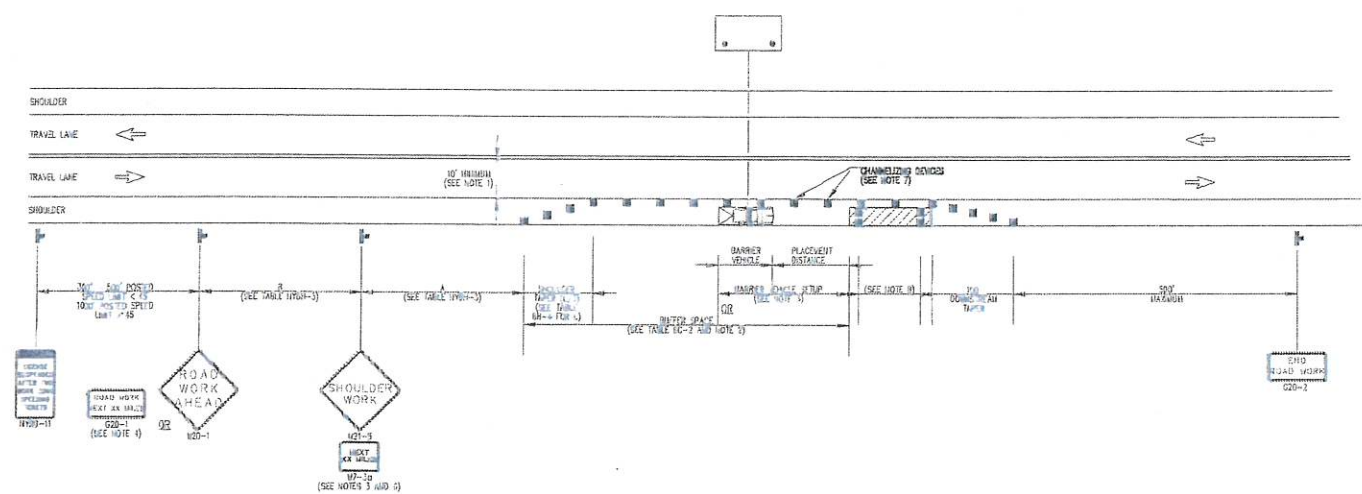
Date	Sheet
02/10/2022	C502
Scale	AS SHOWN
Proj	21018
6 OF 7	



NOTES:

- WHEN PAVED SHOULDERS HAVING A WIDTH OF 8' OR MORE ARE CLOSED, CHANNELIZING DEVICES SHALL BE USED TO CLOSE THE SHOULDER IN ADVANCE TO DELINEATE THE BEGINNING OF THE WORK AREA AND DIRECT VEHICULAR TRAFFIC TO REMAIN IN THE TRAVEL WAY.
- WHEN A SIDE ROAD OR DRIVEWAY INTERSECTS THE ROADWAY WITHIN A WORK ZONE TRAFFIC CONTROL AREA, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES AND/OR FLAGGERS SHALL BE PLACED AS NEEDED. ADDITIONAL FLAGGERS SHALL BE LOCATED AT ALL INTERSECTIONS AND COMMERCIAL DRIVEWAYS LOCATED WITHIN OR NEAR THE ACTIVE WORK SPACE.
- NO WORK ACTIVITY, EQUIPMENT, OR STORAGE OF VEHICLES, OR MATERIAL SHALL OCCUR WITHIN THE BUFFER SPACE AT ANY TIME.
- CHANNELIZING DEVICE SPACING (CENTER TO CENTER) SHALL NOT EXCEED 40' IN THE ACTIVE WORK SPACE.
- TRANSVERSE DEVICES SHALL BE REQUIRED (AS PER 619 STANDARD SPECIFICATIONS) WHEN A PAVED SHOULDER HAVING A WIDTH OF 8' OR GREATER IS CLOSED FOR A DISTANCE GREATER THAN 1500'.
- THE END ROAD WORK SIGN (G20-2) SHALL BE PLACED A MAXIMUM OF 500' PAST THE END OF THE WORK SPACE.
- WHERE DIRECTED BY THE ENGINEER, A BUFFER SPACE SHALL BE PROVIDED IN ORDER TO LOCATE THE ONE-LANE, TWO-WAY TRAFFIC TAPER PRIOR TO ANY HORIZONTAL OR VERTICAL CURVE, IN ORDER TO PROVIDE ADEQUATE SIGHT DISTANCE FOR THE FLAGGERS AND/OR A QUEUE OF STOPPED VEHICLES.
- THE FLAG TREE SHALL BE LOCATED ON THE SHOULDER, AT APPROXIMATELY 1/4 THE DISTANCE BETWEEN THE FLAGGER SIGN (W20-7a) AND THE FLAGGER.
- FLAGGER SIGN (W20-7a) AND ONE LANE ROAD AHEAD SIGN (W20-4) SHALL BE REMOVED, COVERED OR TURNED AWAY FROM ROAD USERS WHEN FLAGGING OPERATIONS ARE NOT OCCURRING.
- FLAGGER AND FLAG TREE SHALL BE ILLUMINATED TO LEVEL II ILLUMINATION DURING NIGHT TIME OPERATIONS.
- ALL FLAGGERS SHALL USE 24" (MIN.) OCTAGON SHAPED STOP/SLOW PADDLES HAVING 8' STAFF.
- CENTERLINE CHANNELIZING DEVICES ARE OPTIONAL AND MAY BE ELIMINATED WHERE SPACE CONSTRAINTS EXIST.

1
503
FLAGGING OPERATION
SHORT OR INTERMEDIATE TERM STATIONARY
LANE CLOSURE ON 2-LANE 2-WAY
ROADWAY
NOT TO SCALE



NOTES:

- WHEN THE MINIMUM LANE WIDTH OF 10' CANNOT BE MAINTAINED DUE TO A SHOULDER CLOSURE, USE THE DETAIL FOR SHORT OR INTERMEDIATE TERM STATIONARY FLAGGING OPERATION.
- NO WORK ACTIVITY OR STORAGE OF EQUIPMENT, VEHICLES, OR MATERIAL SHOULD OCCUR WITHIN A BUFFER SPACE.
- WHEN THE DISTANCE BETWEEN THE ADVANCE WARNING SIGNS AND WORK IS 2 MILES TO 5 MILES, A SUPPLEMENTAL DISTANCE PLAQUE (W7-3a) SHOULD BE USED WITH THE SHOULDER WORK SIGN (W21-5).
- THE ROAD WORK NEXT XX MILES SIGN (G20-1) MAY BE USED INSTEAD OF THE ROAD WORK AHEAD SIGN (W20-1) IF WORK LOCATIONS OCCUR OVER A DISTANCE OF MORE THAN 2 MILES.
- FOR BARRIER VEHICLE USE REQUIREMENTS SEE TABLES NY1-A AND NY2-A ON THE STANDARD SHEET TITLED "WORK ZONE TRAFFIC CONTROL LEGENDS AND NOTES".
- IN THOSE SITUATIONS WHERE MULTIPLE WORK LOCATIONS EXIST WITHIN A LIMITED DISTANCE MAKE IT PRACTICAL TO PLACE STATIONARY SIGNS, THE DISTANCE BETWEEN THE ADVANCE WARNING SIGN AND WORK SHALL NOT EXCEED 5 MILES.
- CHANNELIZING DEVICE SPACING (CENTER TO CENTER) SHALL NOT EXCEED 40' IN THE ACTIVE WORK SPACE.
- TRANSVERSE DEVICES SHALL BE REQUIRED (AS PER 619 STANDARD SPECIFICATIONS) WHEN A PAVED SHOULDER HAVING A WIDTH OF 8' OR GREATER IS CLOSED FOR A DISTANCE GREATER THAN 1500'.

2
503
LANE/SHOULDER CLOSURE
SHORT OR INTERMEDIATE TERM
STATIONARY LANE CLOSURE ON 2-LANE
2-WAY ROADWAY
NOT TO SCALE

WORK ZONE TRAFFIC CONTROL LEGEND

	CHANGEABLE MESSAGE SIGN (PVIAS)
	ARROW PANEL
	ARROW PANEL CAUTION MODE
	ARROW PANEL TRAILER OR SUPPORT
	CONE
	SIGN
	WORK SPACE
	TRAFFIC FLOW
	FLAGGER
	CONSTRUCTION DRUM
	FLAG TREE
	CHANNELIZING DEVICE
	SIGN TEMPORARY
	WORK VEHICLE
	WORK VEHICLE WITH TRUCK MOUNTED ATTENUATOR
	TEMPORARY BARRIER
	TEMPORARY BARRIER WITH WARNING LIGHTS
	TRAFFIC OR PEDESTRIAN SIGNAL
	WARNING LIGHTS
	TYPE III BARRICADE
	LUMINAIRE
	PAVEMENT MARKINGS THAT SHALL BE REMOVED FOR A LONG TERM PROJECT

**TABLE 6C-2
LONGITUDINAL BUFFER
SPACE**

PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	DISTANCE (FT)
25	155FT
30	200FT
35	250FT
40	300FT
45	380FT
50	425FT
55	495FT
60	570FT
65	645FT

**TABLE NYGH-3
ADVANCE WARNING SIGN SPACE**

ROAD TYPE	DISTANCE BETWEEN SIGNS		SIGN LEGENDS	
	A (FT)	B (FT)	X (FT)	Y (FT)
URBAN (30MPH)	100	100	100	AHEAD
URBAN (35-40MPH)	200	200	200	AHEAD
URBAN (45MPH)	350	350	350	1,000FT
RURAL	500	500	500	1,500FT
EXPRESSWAY/FREEWAY	1000	1500	2640	1 MILE 1/2 MILE

URBAN: SHEETS MORE THAN 1 OF THE FOLLOWING CRITERIA: SIDEWALK, BICYCLE LANE, CLOSED DRAINAGE SYSTEM, DRIVEWAY DEVICES GREATER THAN 24 DRIVEWAYS PER MILE, MINOR COMMERCIAL DRIVEWAY DENSITY OF 10 DRIVEWAYS PER MILE OR GREATER, MAJOR COMMERCIAL DRIVEWAYS, NUMEROUS RIGHT OF WAY CONSTRAINTS, HIGH DENSITY OF ONDUS STREETS, 85TH PERCENTILE SPEEDS OF 45MPH OR LESS.

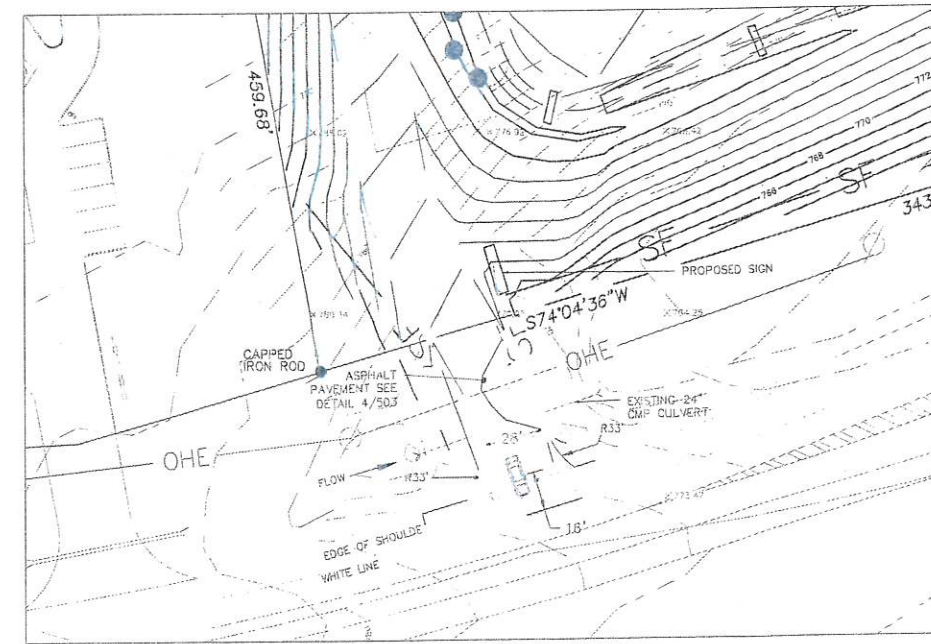
RURAL: ANY AREA NOT EXHIBITING MORE THAN ONE OF THE ABOVE CHARACTERISTICS.

EXPRESSWAY: DIVIDED HIGHWAYS FOR TRAFFIC WITH FULL OR PARTIAL CONTROL OF ACCESS AND GENERALLY WITH GRADE SEPARATIONS AT MAJOR CROSSROADS.

FREEWAYS/INTERSTATES: LOCAL OR INTER REGIONAL HIGH-SPEED, DIVIDED, HIGH-VOLUME FACILITIES WITH FULL OR PARTIAL CONTROL OF ACCESS.

TABLE 6H-4 FORMULAS FOR DETERMINING TAPER LENGTHS

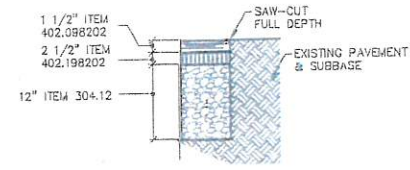
SPEED LIMIT (S) (MPH)	TAPER LENGTH (L) (FT.)	L=WS(SQ)/60	L=WS	STANDARD TAPER LENGTHS										
				TEMPORARY TRAFFIC CONTROL ZONE POSTED SPEED LIMIT	TEMPORARY TRAFFIC CONTROL ZONE POSTED SPEED LIMIT	TEMPORARY TRAFFIC CONTROL ZONE POSTED SPEED LIMIT	TEMPORARY TRAFFIC CONTROL ZONE POSTED SPEED LIMIT	TEMPORARY TRAFFIC CONTROL ZONE POSTED SPEED LIMIT	TEMPORARY TRAFFIC CONTROL ZONE POSTED SPEED LIMIT	TEMPORARY TRAFFIC CONTROL ZONE POSTED SPEED LIMIT	TEMPORARY TRAFFIC CONTROL ZONE POSTED SPEED LIMIT			
40	155	155	155	155	155	155	155	155	155	155	155	155	155	155
45	200	200	200	200	200	200	200	200	200	200	200	200	200	200
50	250	250	250	250	250	250	250	250	250	250	250	250	250	250
55	300	300	300	300	300	300	300	300	300	300	300	300	300	300
60	350	350	350	350	350	350	350	350	350	350	350	350	350	350
65	400	400	400	400	400	400	400	400	400	400	400	400	400	400



3
503
DRIVEWAY ENTRANCE PLAN

SIGHT DISTANCE FROM PROPOSED ENTRANCE (14-18 FT FROM EDGE OF TRAVEL LANE)

	TO THE RIGHT	TO THE LEFT
42" EYE AND OBJECT HEIGHT	800'	1,000'
42" EYE AND 2' OBJECT HEIGHT	700'	1,000'



ITEM 402.098202 - 9.3mm F2 TOP COURSE H.M.A.
ITEM 402.198202 - 19mm F9 BINDER COURSE H.M.A.
ITEM 304.12 - SUBBASE COURSE, TYPE II

4
503
NYSDOT R-0-W ASPHALT PAVEMENT DETAIL

No.	Revision Description	Date
1	Revised per CB comments	3/3/22

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EMAIL: CLONGO@EMPIREENG.NET

PROJECT
PINE GROVE DAIRY
SELF - STORAGE
DUANESBURG ROAD
DUANESBURG, NY

NYSDOT DETAILS

Date	02/10/2022	Sheet	C503
Drawn	AS SHOWN	Scale	
Job	21018	Page	7 OF 7

TOWN OF DUANESBURG

APPLICATION FOR SITE/ SKETCH DEVELOPMENT PLAN APPROVAL

Preliminary Date: April 11, 2022 Final Date: _____
(Check appropriate box)

Name of proposed development Lot line change on tax id 74.00-3-18 and 74.00-3-16.3

Applicant:
Name Susan L. Biggs - power of attorney Lynne Bruning
Address PO Box 160
Quaker Street, NY 12141
Telephone 720-272-0956

Plans Prepared by:
Name _____
Address _____
Telephone _____

Owner (if different): (if more than one owner, provide information for each)
Name Same
Address _____
Telephone _____

Ownership intentions, i.e., purchase options
Resolve problematic driveway easement

Location of site 13388 Duaneburg Road, Delanson, Schenectady County NY 12053
Tax id 74.00-3-18 and 74.00-3-16.3

Section	<u>74.00</u>	Block	<u>3</u>	Lot	<u>18</u>
	<u>74.00</u>		<u>3</u>		<u>16.3</u>

Current zoning classification 74.00-3-18 Rural Residential and 74.00-3-16.3 Rural Vacant

State and federal permits needed (list type and appropriate department)
Not Applicable

Proposed use(s) of site Same use Tax id 74.00-3-18 is 91 acres
Tax id 74.00-3-16.3 is 22 acres

Total site area (square feet or acres) 113 acres

Anticipated construction time no construction

Will development be phased? no construction

Over →

Current land use of site (agricultural, commercial, underdeveloped, etc.)

74.00-3-18 is residence on 91 acres and 74.00-3-16.3 is vacant land on 22 acres

Current condition of site (buildings, brush, etc.) 74.00-3-18 is residence and five outbuildings on 91 acres with mowed walking paths, federal NWI spring fed pond and forest
74.00-3-16.3 is vacant land on 22 acres is woods

Character of surrounding lands (suburban, agricultural, wetlands, etc.)

Estimated cost of proposed improvement \$ 0

Anticipated increase in number of residents, shoppers, employees, etc. (as applicable)

0

Describe proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:

- for residential buildings include number of dwelling units by size (efficiency, one-bedroom, two-bedroom, three or more bedrooms) and number of parking spaces to be provided.
- For non-residential buildings, include total floor area sales area; number of automobile and truck parking spaces,
- Other proposed structures.

(Use separate sheet if needed)

No construction

to the north is 70 acres of agricultural hay to the north on parcel 74.00-3-19

to the south are three single family homes on parcels 74.00-3-15.1, 74.00-3-17 and 74.00-3-16.121.

to the east is Youngs Road and 90 acres of agricultural hay on parcel 74.00-3-14

to the west is 82.2 acres of DEC wetlands and a National Wetland Inventory riverine that drains north to a tributary of Schoharie Creek on parcels 74.00-2-5.1 and 74.00-25.2

Date 7 April 2022

To: Town of Duaneburg Planning Board

From: Susan L. Biggs c/o Lynne Bruning Power of Attorney

Re: Proposed Lot Line Adjustment between TM Parcels 74.00-3-16.3 and 74.00-3-18

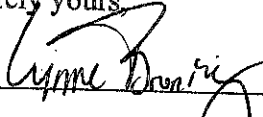
Dear Sirs:

Please be advised that the Office of Joanne Darcy Crum, L.S., Professional Land Surveyor, of Cobleskill, New York, is authorized to represent us in the proposed action currently before the board.

Please feel free to contact me if you have any questions.

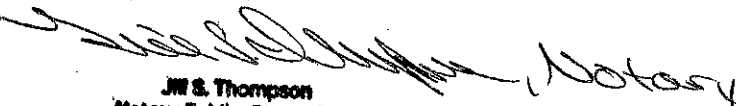
Thanking you in advance for your help and cooperation, we are,

Sincerely yours

 April 7, 2022

Susan L. Biggs by Lynne Bruning, Power of Attorney

Phone 720-272-0956

 Notary
J.W. Thompson
Notary Public, State of NY
No. 01TH6050908, Qualified in Otsego Cty.
Commission Exp. 10/23/25

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Biggs Lot Line Adjustment			
Project Location (describe, and attach a location map): Tax Map #'s 74.00-3-16.3 and 74.00-3-18 13388 Duanesburg Road			
Brief Description of Proposed Action: Move lines of above mentioned tax parcels to resolve driveway and utility easement issues.			
Name of Applicant or Sponsor: Susan L. Biggs by the Office of Joanne Darcy Crum, L.S.		Telephone: 518-234-4650	
Address: 479 West Main Street		E-Mail: jdcrum@hotmail.com	
City/PO: Cobleskill		State: NY	Zip Code: 12043
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYS Dot, Schenectady County Planning, Duanesburg Planning Board			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 113 acres b. Total acreage to be physically disturbed? _____ 0 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 113 acres			NO <input type="checkbox"/>
4. Check all land uses that occur on, are adjoining or near the proposed action:			YES <input checked="" type="checkbox"/>
<input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Residence has existing Septic _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? 1996 Sears Archeological Study filed with NYS History Museum and transferred to the New York State Office of Parks Recreation and Historic Preservation b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ NYS DEC Environmental Mapper shows National Wetland Inventory for Federal Freshwater Pond less than 1/2 acre on parcel 74.00-3-18. And on abutting parcel to the west with tax id 74.00-2-5.1 a NWI riverine that drains north to a tributary of the Schoharie Creek. _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional
 Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?
Northern Long-eared Bat

NO	YES
<input type="checkbox"/>	<input checked="" type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?
If Yes,

a. Will storm water discharges flow to adjacent properties?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?
If Yes, briefly describe:

NO	YES
<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?
If Yes, explain the purpose and size of the impoundment:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?
If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Susan L. Biggs by the Office of Joanne Darcy Crum, L.S. Date: 7/8/22

Signature: Joanne Darcy Crum L.S. for Susan Biggs Title: L.S.

TOWN OF DUANESBURG

Application# _____

Agricultural Data Statement

Date: April 11, 2022

Instructions: This form must be completed for any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review that would occur on property within 500 feet of a farm operation located in a NYS Dept. of Ag & Markets certified Agricultural District.

Applicant	Owner if Different from Applicant
Name: <u>Susan L. Biggs</u>	Name: <u>Susan L. Biggs</u>
Address: <u>PO Box 160</u>	<u>PO Box 160</u>
<u>Quaker Street, NY 12141</u>	<u>Quaker Street, NY 12141</u>

1. Type of Application: Special Use Permit; Site Plan Approval; Use Variance; Area Variance; Subdivision Approval (circle one or more)

2. Description of proposed project:

Move northern lot line of tax id parcel 74.00-3-16.3 from 800 feet north of Duanesburg Road to approximately 1,500 feet north of Duanesburg Road and to extend 74.00-3-16.3 eastern lot line from 500 feet north of Duanesburg Road to approximately 1000 feet north of Duanesburg Road. The residence and driveway will be on an approximately 40 acre parcel and the vacant land will be 73 acres as a separate parcel. Susan Biggs intends to retain ownership of both parcels. No construction is planned. See attached color map.

3. Location of project: Address: 13388 Duanesburg Road, Delanson NY Schenectady County NY 12053
Tax Map Number (TMP) 74.00-3-18 and parcel 74.00-3-16.3

4. Is this parcel within an Agricultural District? YES NO (Check with your local assessor if you do not know.)
5. If YES, Agricultural District Number _____
6. Is this parcel actively farmed? YES NO
7. List all farm operations within 500 feet of your parcel. Attach additional sheet if necessary.

NAME: <u>Pam Rowling / Wallace Johnson</u> ADDRESS: <u>Tax ID Parcel 74.00-3-19</u> <u>82 Maple Street East Haven, CT 06512</u> Is this parcel actively farmed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO
NAME: <u>Werner Hoffman</u> ADDRESS: <u>Tax ID 74.00-3-14</u> <u>2245 Youngs Road Delanson, NY 12053</u> Is this parcel actively farmed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	NAME: _____ ADDRESS: _____ Is this parcel actively farmed? <input type="checkbox"/> YES <input type="checkbox"/> NO

Jeanne Dwyer Signature of Applicant for Susan Biggs 4/11/22 Signature of Owner (if other than applicant)

Reviewed by: Dale R. Warner

Date: _____

Revised 6/30/08

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

**OFFICE OF THE SCHENECTADY
COUNTY CLERK**



**JOHN J.
WOODWARD**
COUNTY CLERK
GMC

620 STATE STREET
SCHENECTADY, NY 12305-2114
PHONE (518) 388-4220
FAX (518) 388-4224

MARYELLEN
BREHM
CYNTHIA REEDY
CARA
JASENSKI
JEFF MORRETTE
DEPUTY COUNTY
CLERKS

Instrument Number - 201712813
Recorded On 3/22/2017 At 12:35:26 PM
* Instrument Type - DEED
* Book/Page - DEED/1959/147
* Total Pages - 4
Invoice Number - 907177 User ID: ELM
* Document Number - 2017-1259
* Grantor - BIGGS SHERIDAN C JR
BIGGS SHERIDAN C JR
* Grantee - BIGGS SUSAN LISS

*RETURN DOCUMENT TO:
COUCH WHITE
540 BROADWAY 7TH FLOOR
PO BOX 2222
ALBANY, NY 12201

* FEES
NY LAND SUR \$4.75
NY E & A FEES \$116.00
NY LAND COMP SUR \$14.25
CO GENERAL REVENUE \$45.00
CO LAND SUR \$0.25
CO E & A FEES \$9.00
CO LAND COMP SUR \$0.75
TOTAL PAID \$190.00

TRANSFER TAX
Real Estate Transfer Tax Num - 3050
Transfer Tax Amount - \$ 0.00

I hereby CONFIRM that this document is
Recorded in the Schenectady County Clerk's Office
in Schenectady, New York


John J. Woodward
Schenectady County Clerk

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Do Not Detach

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* - Information denoted by an asterisk may change during the verification process and may not be reflected on this page.

INSTRUMENT NUMBER - 201712813



WARRANTY DEED

THIS INDENTURE made the 8th day of March, 2017, by and between:

Sheridan C. Biggs, Jr., as Trustee of The Revocable Trust of Sheridan C. Biggs, Jr., dated July 22, 2008, as amended from time to time, with an address of 540 Broadway, 7th Floor, Albany, New York 12207,

Party of the First Part, and

Susan Liss Biggs, an individual residing at 13388 Duaneburg Road, Delanson, New York 12053,

Party of the Second Part.

WITNESSETH that the Party of the First Part, in consideration of One Dollar (\$1.00) lawful money of the United States, and other good and valuable consideration paid by the Party of the Second Part, do hereby grant and release unto the Party of the Second Part, its heirs and assigns forever,

ALL that certain piece or parcel of land situats, lying and being in the Town of Duaneburg, County of Schenectady, State of New York, bounded and described as follows:

SEE SCHEDULE A ATTACHED HERETO

SUBJECT to all enforceable covenants, easements and restrictions of record.

The premises being conveyed herein are presently known as Tax Map Parcel Number 74.00-3-18.

BEING the same premises conveyed to the Party of the First Part by Warranty Deed, dated August 19, 2011, and recorded in the Schenectady County Clerk's Office on September 29, 2011 in Deed Book 1844 at Page 598.

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the costs of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

AND the party of the first part covenants as follows:

Record and Return:
Couch White, LLP
ATTN: David J. Brouil
P.O. Box 22222
540 Broadway, 7th Floor
Albany, New York 12201-2222

29 MARCH 2017
R.P.
PAY 74.00
F.L.K.
LOT 18
D

DEED Book 1959 Page 148
Doc No 2017-1259

FIRST. That said party of the first part is seized of the said premises in fee simple, and has good right to convey the same;

SECOND. That the party of the second part shall quietly enjoy the said premises;

THIRD. That the said premises are free from encumbrances, except as aforesaid;

FOURTH. That the party of the first part will execute or procure any further necessary assurance of the title to said premises;

FIFTH. That said party of the first part will forever warrant the title to said premises.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

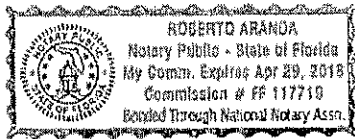
IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

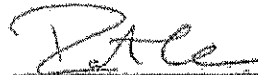
THE REVOCABLE TRUST OF SHERIDAN C. BIGGS, JR., dated July 22, 2008


By: Sheridan C. Biggs, Jr.
Title: Trustee

STATE OF Florida }
COUNTY OF Indian River } ss.:

On the 8 day of March, in the year 2017, before me, the undersigned, personally appeared SHERIDAN C. BIGGS, JR., personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same in his/her capacity, and that by his/her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.




Notary Public

SCHEDULE A

ALL THAT CERTAIN PIECE OR PARCEL OF LAND, being the homestead of the late Richard W. Deyo, deceased, and described in a map of the said Town of Duaneburg as lot No. 353 and lot lately owned by Peter Deyo adjoining the same, with privilege use, right and title to the road leading to the same from the highway to the dwelling house on said homestead farm, which lands are described generally as follows: Bounded on the North by the lands now or formerly owned by John Abell; East by a highway from the Great Western Turnpike to the Old Schoharie and Duaneburg Turnpike; South by lands now or formerly of Fred M. Sheldon and Walter B. Carpenter; West by lands now or formerly of Gertha Westfall, containing ninety-two acres, less one quarter of an acre on which the school house stands and deeded to said district. Subject, however, to the payment of an annual rent on said lands as fixed by lease from the Dunne family.

ALSO ALL THAT CERTAIN PIECE OR PARCEL OF LAND, situate, lying and being in the County of Schenectady, Town of Duaneburg, State of New York, lying on the west side of the highway known as Young's Road. The premises hereby conveyed are the lands now or formerly occupied by the Sheldon School or Carpenter District, formerly District No. 2 of Duaneburg prior to the centralization of this district. These premises are bounded on the east by the highway; on the south by lands now or formerly of Fred A. Sears and on the north and west by the lands now or formerly of Carl W. Liss, reputed owner, containing one-fourth (1/4) of an acre, be the same more or less.

It is the intent of this conveyance to convey to the Grantee herein all of the interest of this school district and former common school district No. 2 of the Town of Duaneburg in the building and the lands and premises on which the same are located, which lands and premises were formerly a part of the farm now or formerly owned by Carl W. Liss.

DEED Book 1989 Page 150
Doc. No. 2017-1239



**JOHN J.
WOODWARD**
COUNTY CLERK
CMC

**OFFICE OF THE SCHENECTADY
COUNTY CLERK**

620 STATE STREET
SCHENECTADY, NY 12305-2114
PHONE (518) 388-4220
FAX (518) 388-4224

MARYELLEN
BREHM

CYNTHIA REEDY

CARA
JASENSKI

JEFF MORRETTE
DEPUTY COUNTY
CLERK

Instrument Number - 201712816
Recorded On 3/22/2017 At 12:39:11 PM
* Instrument Type - DEED
* Book/Page - DEED/1959/151
* Total Pages - 7
Invoice Number - 907179 User ID: ELM
* Document Number - 2017-1260
* Grantor - BIGGS SHERIDAN C JR
BIGGS SHERIDAN C JR
* Grantee - BIGGS SUSAN LISS

*RETURN DOCUMENT TO:
COUCH WHITE
540 BROADWAY 7TH FLOOR
PO BOX 2222
ALBANY, NY 12201

* FEES

NY LAND SUR	\$4.75
NY E & A FEES	\$241.00
NY LAND COMP SUR	\$14.25
CO GENERAL REVENUE	\$60.00
CO LAND SUR	\$0.25
CO E & A FEES	\$9.00
CO LAND COMP SUR	\$0.75
TOTAL PAID	\$330.00

TRANSFER TAX

Real Estate Transfer Tax Num - 3051
Transfer Tax Amount - \$ 0.00

I hereby CONFIRM that this document is
Recorded in the Schenectady County Clerk's Office
in Schenectady, New York


John J. Woodward
Schenectady County Clerk

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* - Information denoted by an asterisk may change during the verification process and may not be reflected on this page.

INSTRUMENT NUMBER - 201712816



WARRANTY DEED

THIS INDENTURE made the 8th day of March, 2017, by and between:

Sheridan C. Biggs, Jr., as Trustee of The Revocable Trust of Sheridan C. Biggs, Jr., dated July 22, 2008, as amended from time to time, with an address of 540 Broadway, 7th Floor, Albany, New York 12207,

Party of the First Part, and

Susan Liss Biggs, an individual residing at 13388 Duaneburg Road, Delanson, New York 12053,

Party of the Second Part.

WITNESSETH that the Party of the First Part, in consideration of One Dollar (\$1.00) lawful money of the United States, and other good and valuable consideration paid by the Party of the Second Part, do hereby grant and release unto the Party of the Second Part, its heirs and assigns forever,

ALL that certain piece or parcel of land situate, lying and being in the Town of Duaneburg, County of Schenectady, State of New York, bounded and described as follows:

SEE SCHEDULE A ATTACHED HERETO

SUBJECT to all enforceable covenants, easements and restrictions of record.

The Premises being conveyed herein is presently known as Tax Map Parcel Number 74.00-3-16.3.

BEING a portion of the premises conveyed to the Party of the First Part by Warranty Deed, dated August 19, 2011, and recorded in the Schenectady County Clerk's Office on September 29, 2011 in Deed Book 1844 at Page 604.

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the costs of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

AND the party of the first part covenants as follows:

Record and Return:
Couch White, LLP
ATTN: David J. Breaux
P.O. Box 22222
540 Broadway, 7th Floor
Albany, New York 12201-2222

74.00-3-16.3
LOT 16.3
MAP IDENTIF. 3
BLK 16.3

RECORDED
DEC 16 2017-12:00
152

SCHEDULE A

ALL THAT CERTAIN TRACT OR PARCEL OF LAND, situate in the town of Duaneburg, County of Schenectady and State of New York, and known and described on a map of said town as Lot No. 387 beginning at the northeast corner of Lot No. 394 at a stake two chains Northerly of and from the northwest corner of Lot No. 395; thence running North 1 degree 40 minutes West, 30 chains and 39 links to a hub in the center of the road; thence West 5 degrees 28 minutes South, 31 chains and 27 links to a small hemlock stump; thence South 1 degree 47 minutes East, 30 chains and 5 links to a stake and stones; thence East 4 degrees 50 minutes North, 31 chains and 33 links to the place of beginning, containing 94 acres, 2 roods and 14 perches be the same more or less.

EXCEPTING AND RESERVING THEREFROM AND THEREOUT, six acres of land heretofore conveyed to and owned by James Sheldon, and also excepting and reserving therefrom and thereout an acres of land heretofore conveyed to Lydia Sheldon and now owned by her and is in possession of the said James and Lydia respectively, be the same more or less subject to which reservations and exceptions the above described premises are conveyed.

ALSO, ALL that certain piece or parcel of land situate, lying and being in the Town of Duaneburg, County of Schenectady, and State of New York and being a part or parcel of the sub-division of Lots No. 332 and No. 389 and known as Lot No. 1 of the sub-division thereof and conveyed by William B. Dora on the 24th day of April, 1867, and bounded as follows:

Beginning at a pine stump being the Southeast corner of Lot No. 392, and runs thence as the needle now points North 1 degree, 30 minutes East, 30 chains to a square hemlock post Numbered: thence Northeast 9 chains and 80 links to the center of the Schoharie Turnpike; thence along the same South 76 degrees 45 minutes West, 10 chains and 65 links South; thence leaves the turnpike and runs thence South 2 degrees and 25 minutes West, 37 chains to a stake and stone in the South bounds of Lot No. 392; thence along the same South 38 degrees East, 20 chains and 70 links to the place of beginning, containing 39 and 81/100 acres of land, being the same piece as conveyed by J.S. Frost, March 28th, 1855.

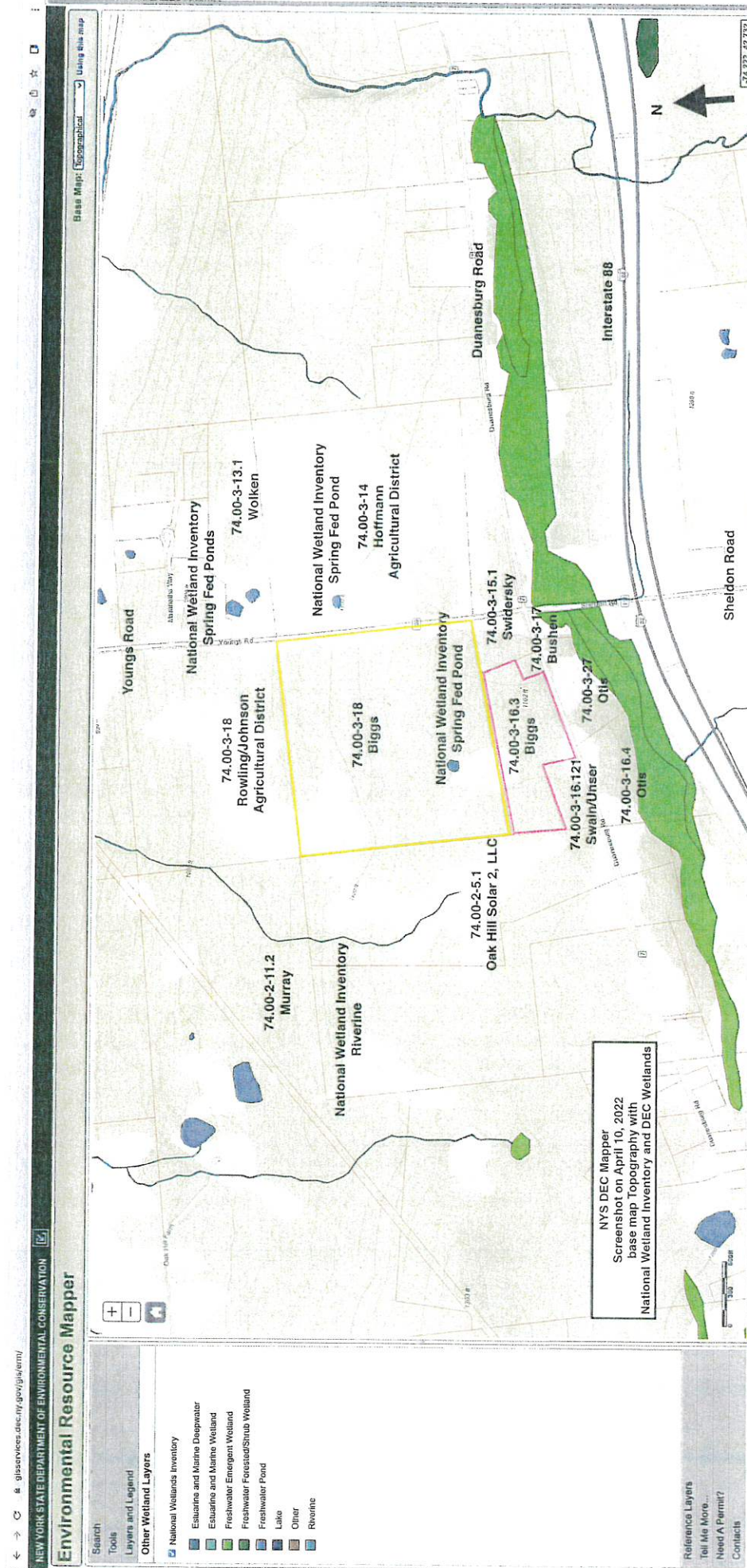
EXCEPTING AND RESERVING THEREFROM AND THEREOUT 28-45/100 acres of land heretofore conveyed to and owned by Benjamin Sheldon subject to which restriction and exception the above described premises are conveyed. The foregoing descriptions are taken from a deed from Charles D. Carpenter and William G. Sears, as Executors etc, to Phoebe Carpenter, dated April 17th, 1881 and recorded in the Clerk's Office of the County of Schenectady, in Book 74 of deeds on page 19 and being the lands and premises of which the said Phoebe Carpenter lately died seized.

BEING the same premises as described in a certain Quit claim deed from Josie Barton and others to Walter B. Carpenter by deed dated the 19th day of December, 1905, and duly recorded in the Office of the Clerk of the County of Schenectady on December 27th, 1905 in 163 of Deeds at page 17.

Lot Line Adjustment

Susan Liss Biggs parcels 74.00-3-18 (yellow) and 74.00-3-16.3 (pink)

EXISTING CONDITIONS - Neighboring Tax Id, National Wetlands, DEC Wetland, Agricultural District and Roads

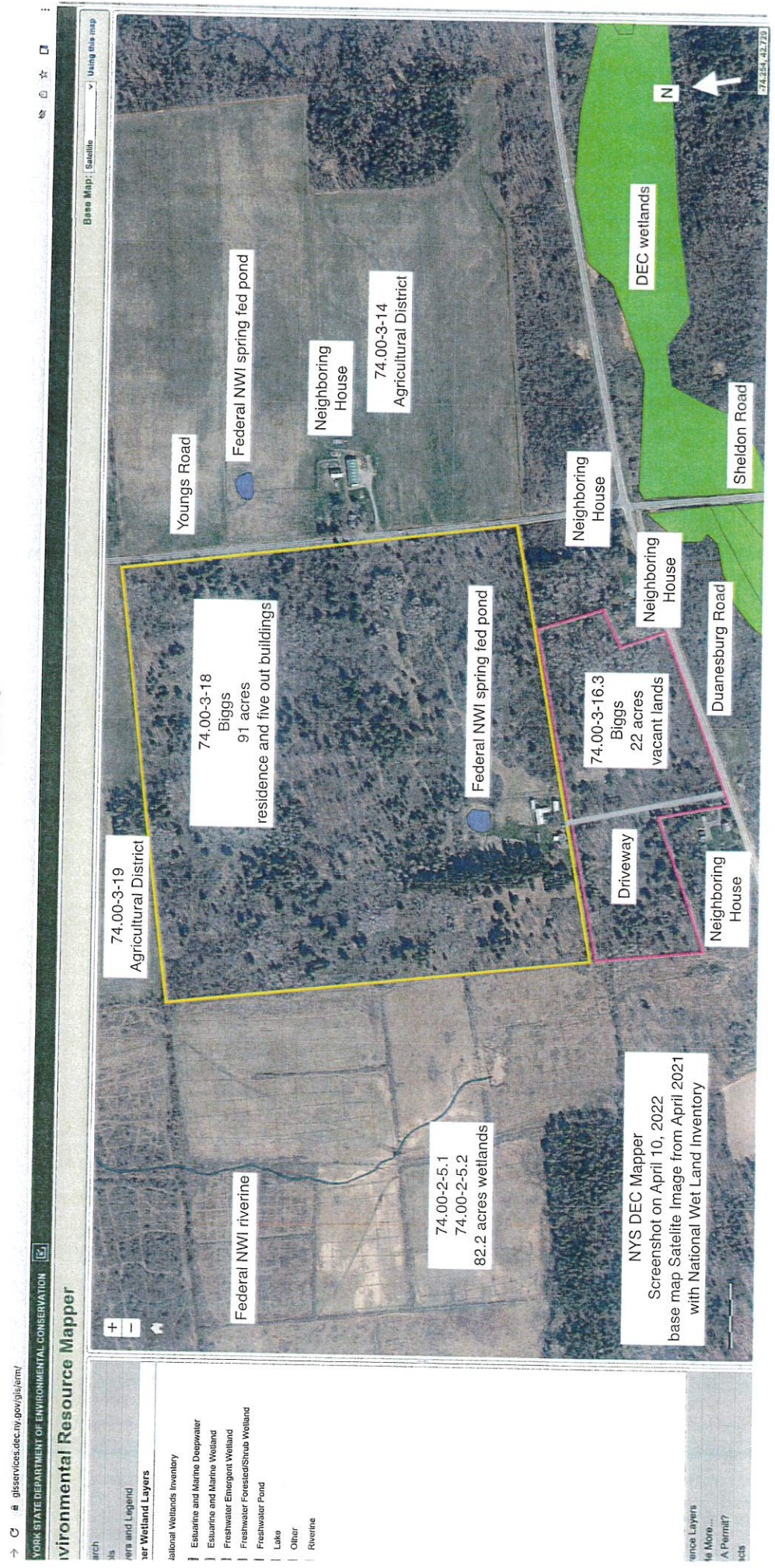


- 74.00-3-13.1 Volken - residence
- 74.00-3-14 Hoffmann - residence and hay field - agricultural district
- 74.00-3-15.1 Swidersky - residence
- 74.00-3-17 Bushen - residence
- 74.00-3-27 Otis - vacant land
- 74.00-3-16.4 Otis - vacant land
- 74.00-3-16.121 Swain/Unser - residence
- 74.00-2-5.1 Oak Hill Solar 2, LLC - vacant wetlands
- 74.00-2-11.2 Murray - vacant lands

April 11, 2022
Figure 1

Lot Line Adjustment
 Susan Liss Biggs parcels 74.00-3-18 (yellow) and 74.00-3-16.3 (pink)

EXISTING CONDITIONS

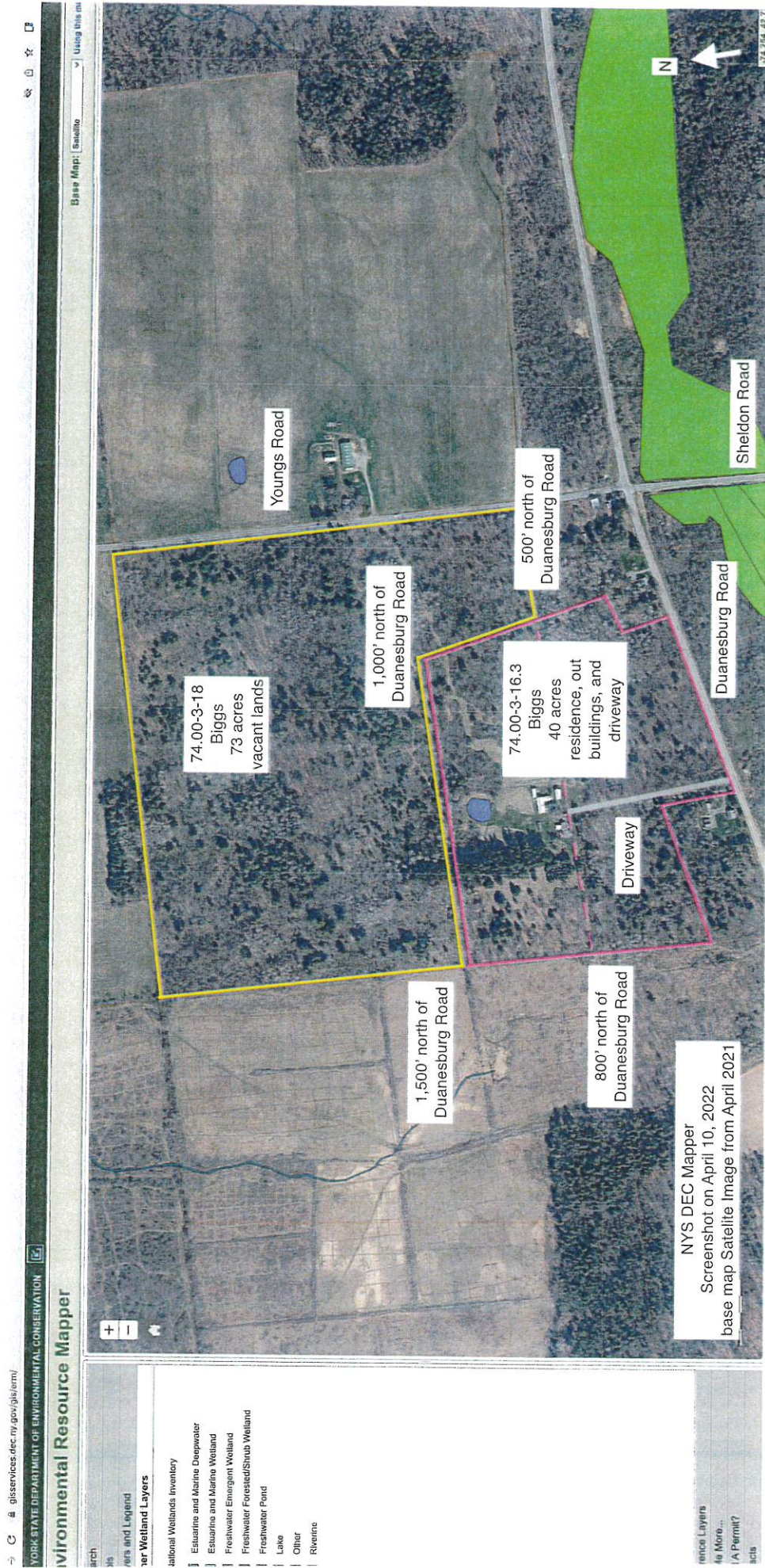


Biggs' existing 1850's farm house and five out buildings are located on 91 acre tax parcel 74.00-3-18 (yellow). The driveway to the residence is an easement thru a 22 acre tax parcel 74.00-3-16-3 (pink) which abuts Duanesburg Road.

April 11, 2022
 Figure 2

Lot Line Adjustment
Susan Liss Biggs parcels 74.00-3-18 and 74.00-3.16.3

PROPOSED LOT LINE ADJUSTMENT



To resolve problematic driveway easement we propose to move the north lot line for tax id 74.00-3-16.3 from 800 feet north of Duanesburg Road to approximately 1,500 feet north of Duanesburg Road and extend the eastern property line from 500 feet north of Duanesburg Road to approximately 1,000 feet north of Duanesburg Road.

This would place the residence, outbuildings and driveway on one lot of approximately 40 acres with 850 feet of frontage on Duanesburg Road.

The remaining approximately 73 acres associated with tax id parcel 74.00-3-18 is vacant wood lands and has 1,800 feet of frontage on Youngs Road. No construction is proposed. Susan Biggs will retain ownership of both lots.

TOWN OF DUANESBURG

APPLICATION FOR SITE/ SKETCH DEVELOPMENT PLAN APPROVAL

Preliminary Date: 4/7/22 Final Date: _____
(Check appropriate box)

Name of proposed development A single family home

Applicant:
Name Robert Brockway
Address 11071 Mariaville Rd
Pattersonville, NY
Telephone (518) 646-3293

Plans Prepared by:
Name Self
Address _____
Telephone (518) 646-3293

Owner (if different): (if more than one owner, provide information for each)
Name Wendy + Jeff Brockway
Address 11071 Mariaville Rd
Pattersonville, NY 12137
Telephone (518) 225-2898 - Wendy

Ownership intentions, i.e., purchase options
Gift 5 acres to son

Location of site
North Road side of property (11071 Mariaville Rd)
Pattersonville, NY

Section 34.00 Block 1 Lot 29.111

Current zoning classification _____

State and federal permits needed (list type and appropriate department)
NONE

Proposed use(s) of site
Future home

Total site area (square feet or acres) 5 acres

Anticipated construction time 2023

Will development be phased? N/A

Over →

Current land use of site (agricultural, commercial, underdeveloped, etc.)

woods, field, agricultural

Current condition of site (buildings, brush, etc.) woods, field

Character of surrounding lands (suburban, agricultural, wetlands, etc.) agricultural

Estimated cost of proposed improvement \$ not known

Anticipated increase in number of residents, shoppers, employees, etc. (as applicable)

2 adults

Describe proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:

- for residential buildings include number of dwelling units by size (efficiency, one-bedroom, two-bedroom, three or more bedrooms) and number of parking spaces to be provided.
 - For non-residential buildings, include total floor area sales area; number of automobile and truck parking spaces,
 - Other proposed structures.
- (Use separate sheet if needed)

2 story house
3 bedrooms
1 1/2 baths

(42°49'46"N 74°10'36"W) 4,116 ft

Google



Property ends →

North Rd →

← new home site

Brackway house →
11071 Mariaville

← Mariaville Road

South Chuctanunda Creek

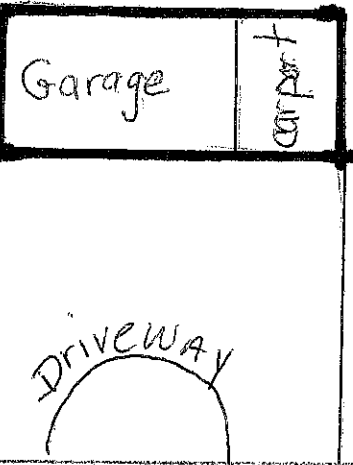


7:40

North Road

House
Law Kins

Brockway House



Horse Barn

5 Acre lot

10 Acre lot

Mariquille Road

T.P. T.P. T.P. T.P. T.P.

Rock wall Tree line

Brockway Survey pin

Future Home

Alberti Survey Pin

Alberti Land

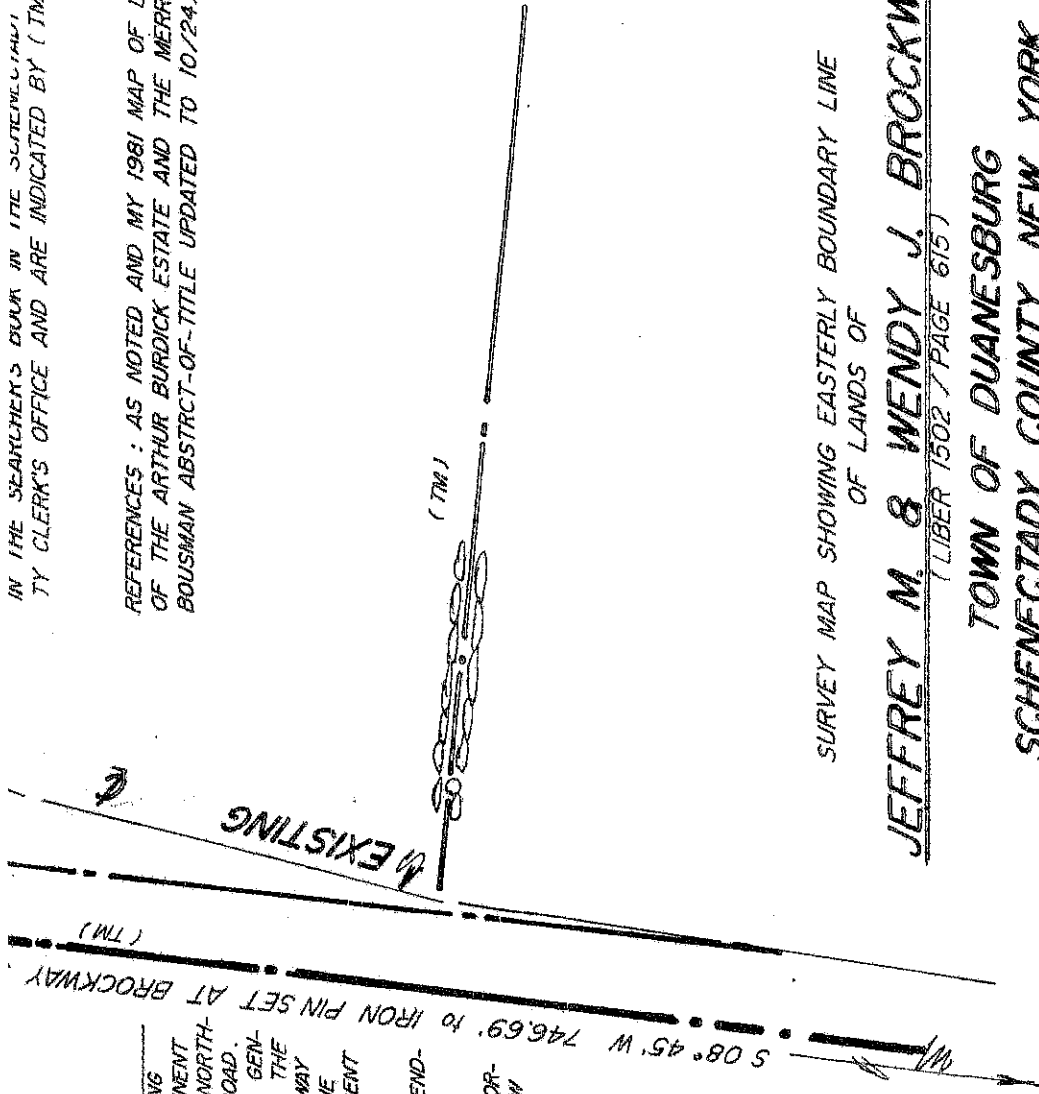
Rock wall Tree line

Survey Pin Alberti

T.P. T.P. T.P.

IN THE SEAKHEM'S BOOK IN THE SCHEMATIC/ COUNTY CLERK'S OFFICE AND ARE INDICATED BY (TM).

REFERENCES : AS NOTED AND MY 1981 MAP OF LANDS OF THE ARTHUR BURDICK ESTATE AND THE MERRILL BOUSMAN ABSTRACT-OF-TITLE UPDATED TO 10/24/95.



SURVEY MAP SHOWING EASTERLY BOUNDARY LINE OF LANDS OF

JEFFREY M. & WENDY J. BROCKWAY
(LIBER 1502 / PAGE 615)

TOWN OF DUANESBURG
SCHENECTADY COUNTY, NEW YORK

AUGUST 14, 1998

SCALE: 1" = 40'

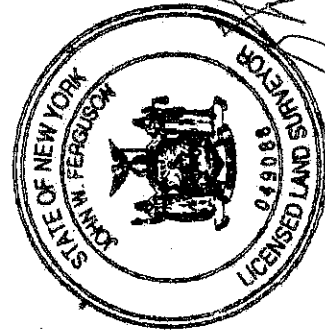
NOTE :

THIS LINE WAS ESTABLISHED BY PROJECTING A LINE THROUGH THE THREE MOST PROMINENT TREES (AS INDICATED) ON A TREE ROW NORTH-ERLY TO THE SOUTH LINE OF THE NYS ROAD. AN INTERVIEW WITH MRS. ADAIR INDICATED GENERAL AGREEMENT WITH THIS PLACEMENT. THE PLACEMENT FALLS SHORT OF THE BROCKWAY DEED CALL AND IS AT VARIANCE WITH THE TABER MAP. IT DOES, HOWEVER, REPRESENT A LINE OF OCCUPATION.

A BOUNDARY LINE AGREEMENT IS RECOMMENDED TO FIX THE LOCATION.

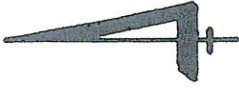
THE IRON PIN SET AT THE SOUTHEAST CORNER IS AT AN EXTENSION OF A TREE ROW AT A DISTANCE OF 25' WEST OF THE E OF NORTH ROAD.

5 08° 45' W 746.69' to IRON PIN SET AT BROCKWAY (TM)



John W. Ferguson

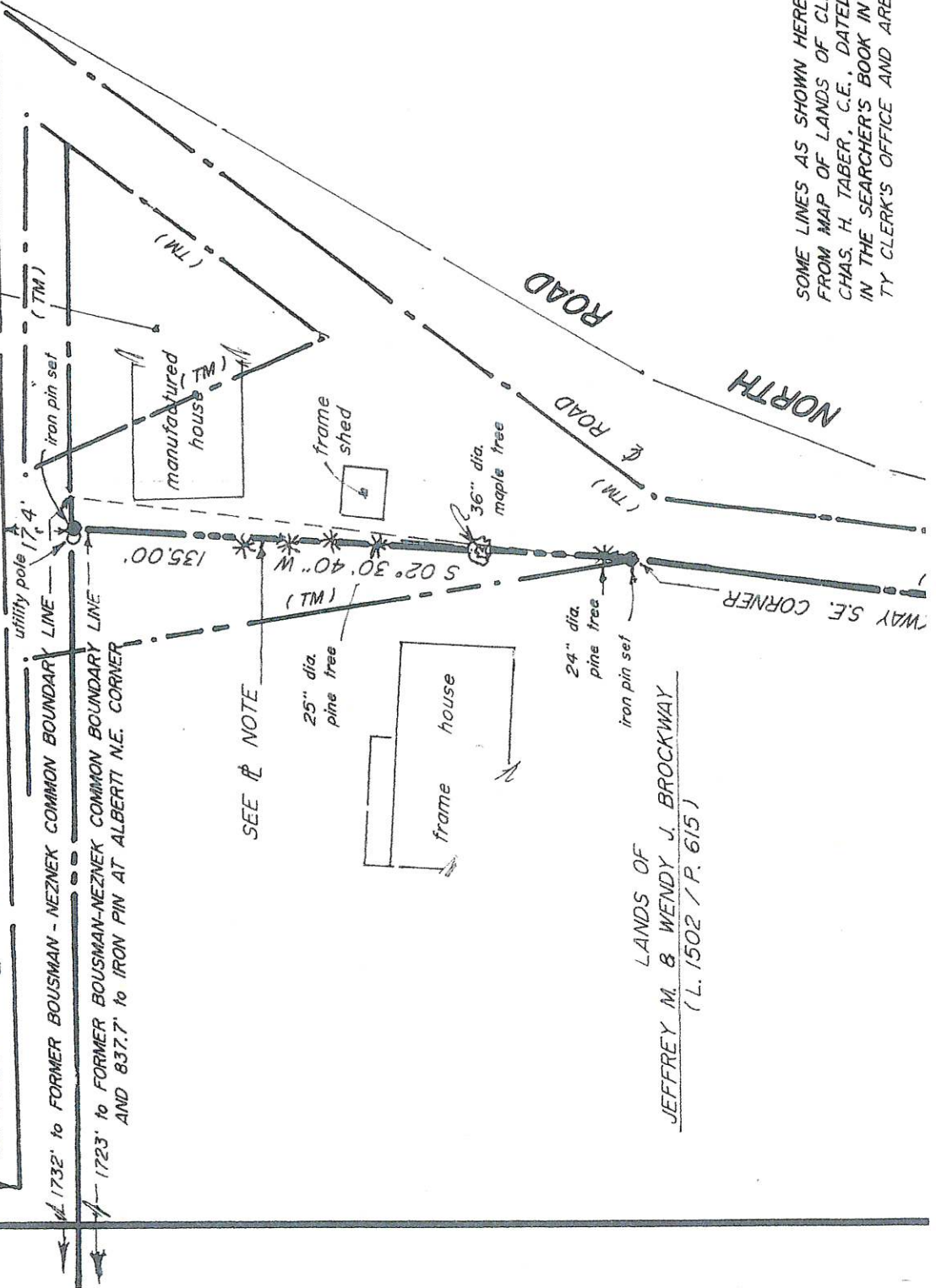
PREPARED BY :
JOHN W. FERGUSON, P.L.S. NO. 49088
207 WALLINS CORNERS ROAD, SUITE D
AMSTERDAM, NEW YORK 12010



Hawkins

LANDS OF LINDA BURDICK
(L. 1511 / P. 493)

EXISTING & NEW YORK STATE ROUTE 159 (FORT HUNTER PLANK ROAD)



SEE NOTE

LANDS OF
JEFFREY M. & WENDY J. BROCKWAY
(L. 1502 / P. 615)

SOME LINES AS SHOWN HEREON WERE RECONSTRUCTED FROM MAP OF LANDS OF CLARENCE A. CULLINGS BY CHAS. H. TABER, C.E., DATED: DEC. 7, 1900 FILED IN THE SEARCHER'S BOOK IN THE SCHENECTADY COUNTY CLERK'S OFFICE AND ARE INDICATED BY (TM).